



## **City Council**

6:00 p.m., Tuesday, November 15, 2022

Council Chambers

1207 Palm Boulevard

Isle of Palms, South Carolina

### **Public Comment:**

All citizens who wish to speak during the meeting must email their first and last name, address, and topic to Nicole DeNeane at [nicoled@iop.net](mailto:nicoled@iop.net) no later than **3:00 p.m. the business day before the meeting**. Citizens may also provide public comment here: <https://www.iop.net/public-comment-form>

### **Agenda**

- 1. Introduction of meeting** and acknowledgement that the press and public were duly notified of the meeting in accordance with the Freedom of Information Act.
  - a. Invocation
  - b. Pledge of Allegiance
  - c. Roll Call
- 2. Citizen's Comments** – All comments will have a time limit of three (3) minutes.
- 3. Special Presentations**
  - a. Presentation of the Leola Hanbury Employee of the Year Award
  - b. Presentation of new employees – HR Manager Janice Ladd
- 4. Approval of previous meetings' minutes**
  - a. City Council Regular Meeting – October 25, 2022
  - b. Public Hearing – November 1, 2022
  - c. Special Personnel Meeting – November 1, 2022
- 5. Old Business**
  - a. Discussion and consideration of implementing a cost-of-living adjustment for City staff
  - b. Discussion of recommendation from the Personnel Committee for City Attorney and Assistant City Attorney
  - c. Update on SCDOT's IOP Connector Study
  - d. Update from Real Property Committee on discussions of parking layouts for the for the Intracoastal side of the marina to eliminate shared parking area and establish City parking and greenspace area and consolidate/expand Islander 71's exclusive parking lot
  - e. Discussion of evaluation of installation of an elevator in the new marina restaurant
  - f. Discussion and consideration of Planning Commission's proposed short-term rental regulations and consideration of imposing a 6-month moratorium on the issuance of short-term rental licenses to allow time for Council to thoroughly review the recommendations and resident feedback



## **6. New Business**

- a. Financial Statements and project worksheets
- b. Capital Projects Update
- c. Consideration of award of a contract to Lowcountry Custom Construction in the amount of \$17,392 to repair and modify the pavers in the three intersections of Front Beach on Ocean Boulevard [FY23 Budget, Front Beach Business District, Capital Projects Fund, State ATAX - \$70,000]
- d. Consideration of approval of film permit for filming of short film "Good Grief" on November 18, 2022
- e. Discussion and consideration of workshop/committee structure for 2023

## **7. Boards and Commissions Report**

- a. Board of Zoning Appeals – no meeting in November
- b. Planning Commission – minutes attached
- c. Accommodations Tax Advisory Committee – next meeting November 17, 2022
- d. Environmental Advisory Committee – minutes attached

## **8. Ordinances, Resolutions and Petitions**

### **a. Second Reading**

- i. **Ordinance 2022-08**- AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE FOR A NEW CONSERVATION-RECREATION DISTRICT.
- ii. **Ordinance 2022-09** - AN ORDINANCE ADOPTING AMENDMENTS TO THE OFFICIAL ZONING MAP OF THE CITY OF ISLE OF PALMS TO PROVIDE FOR A NEW CONSERVATION-RECREATION (CR) ZONING DISTRICT AND TO REZONE CERTAIN PROPERTIES FROM THE SR-1 AND PDD DISTRICTS TO THE NEW CR ZONING DISTRICT AS SHOWN ON EXHIBIT I.
- iii. **Ordinance 2022-10** - AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF ISLE PALMS TO REZONE CERTAIN PROPERTIES FROM THE SR-1 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT AND PDD PLANNED DEVELOPMENT ZONING DISTRICT TO THE CR CONSERVATION-RECREATION ZONING DISTRICT, INCLUDING THE 12 PROPERTIES DESIGNATED AS TMS# 571-00-00-001, TMS# 604-01-00-001, TMS# 604-01-00-059, TMS# 571-08-00-226, TMS# 604-00-00-032, TMS# 604-00-00-033, TMS# 604-00-00-034, TMS# 604-00-00-035, TMS# 604-00-00-036, TMS# 604-05-00-185, AND TMS# 604-10-00-206, TMS# 604-02-00-053 AS SHOWN ON THE PLATS ATTACHED AS EXHIBIT I.
- iv. **Ordinance 2022-11** - AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, SECTION 5-4-39, PDD PLANNED DEVELOPMENT DISTRICT, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE CLARIFICATION BY CORRECTING SCRIVENER'S ERRORS AND DELETING PROVISIONS RELATED TO THE WILD DUNES PRD.
- v. **Ordinance 2022-12** - AN ORDINANCE AMENDING THE CITY OF ISLE OF PALMS ZONING ORDINANCE BY AMENDING CERTAIN PROVISIONS OF



THE ORIGINAL BEACH AND RACQUET CLUB PRD (ALSO KNOWN AS THE WILD DUNES PRD) TO EXCLUDE CERTAIN PROPERTIES FROM THE PRD DISTRICT, TO REDUCE THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED IN THE PRD DISTRICT FROM 2,449 UNITS TO 2,119 UNITS, AND TO REDUCE THE MAXIMUM NUMBER OF INN UNITS PERMITTED IN THE PRD DISTRICT FROM 350 UNITS TO 297 UNITS.

**b. First Reading**

Ordinance 2022-13 – FIRST AMENDMENT TO LEASE AGREEMENT BETWEEN THE CITY AND MARKER116, LLC

**c. Resolutions and Petitions**

Petition for the preservation of public and private recreation facilities and to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots.

**9. Executive Session**

Executive Session pursuant to S.C. Code §30-4-70(a)(2) to receive legal advice related to potential claims concerning alterations to Isle of Palms zoning districts.

Council may take action on matters discussed in Executive Session upon returning from Executive Session.

**10. Adjournment**

**City of Isle of Palms - Public Comments submitted via online public comment form for City Council - November 10, 2022**

| <b>Date Submitted</b> | <b>Name</b>            | <b>Address</b>   | <b>Comments for Council Meeting</b>  | <b>Meeting This Comment is Intended For:</b> |
|-----------------------|------------------------|--|--|--|
| 11/10/2022 4:04 PM    | Mr Charles Gilreath    | 30 Beachwood West, Isle of Palms, South Carolina 29451                     | As a homeowner and resident of the Isle of Palms, I'd like to request the council vote in favor of adopting all the ordinances now being considered relating to development on the island.   | City Council                                 |
| 11/9/2022 6:46 PM     | Glenda Nemes           | 3006 Cameron Blvd, Isle of Palms, South Carolina 29451                     | <p>Note the Vacancies:</p> <p><a href="https://www.scdot.org/inside/inside-commission.aspx">https://www.scdot.org/inside/inside-commission.aspx</a></p> <p>Council has opportunity to work in Columbia, with lobbyists we hired, Campsen, and Bustos to get involved with Governor's appointments of pro IOP homerule Transportation Commissioners. Robbie Robbins seat and two at large seats are vacant. Oh There's terms may expire at end of year. This could change the balance.</p> <p>Robbins , our last rep, is now moving over to an elected House position. He did a "love fest" for Christy Hall when we were fighting S. 40. Then he showed up at the Governors private fundraiser here uninvited last summer. And that was after he told IOP Citizens who wrote him to not support S. 40 and what Hall and Grooms we're doing or had done to our Connector and easements, violating constitutional rights. Robbins told us he didn't care what we thought.... So these three appointed positions could be a crucial part of the future of IOP's roads, easements and bridges.</p> <p>Please Council...try to get appointments that will support us instead of the egregious situation we have been in with the Transportation Commissioners.....</p> <p>Be Proactive, not reactive. I have done my part as a resident to personally tell Governor McMaster about Robbie Robbins egregious lack of representation, I am contacting our House Rep. I am making people aware of an opportunity and making Council Aware. Please do not fail to be proactive. Future of our roads, easements and bridge are important....</p> | City Council                                 |
| 11/9/2022 1:06 PM     | Mrs Susan Byron Keyser | 10 Ocean Point Dr, Isle of Palms, South Carolina 29451                     | Vote YES to the 5 ordinances.  | City Council                                 |
| 11/7/2022 8:25 PM     | MR Michael Keeshen     | 26 linkside court, isle of palms, South Carolina 29451                     | <p>This note is written to express concern for your proposed ordinance #5.</p> <p>Our family has had property on the island for a half century. We have witnessed taxes go thru the roof- especially property taxes. the ability to recoup some of this expense is using the vacation rental system. Occasional short term rental is our only way of keeping property in the family. Please don't over restrict nor take this option away.</p>   | City Council                                 |
| 11/7/2022 7:17 PM     | RICHARD SEDORY         | 8 Back Court, Isle of Palms, South Carolina 29451                          | We live in and enjoy the amenities of Wild Dunes, and therefore strongly encourage and recommend that the City Council vote "yes" to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. In particular, the critical nature of ordinance #5, which provides the actual cap on further development within the current 1975 PRD, is important to Wild Dunes and Isle of Palms residents and guests.   | City Council                                 |
| 11/5/2022 5:38 PM     | Mrs. Carol L Dawson    | 18 INTRACOASTAL CT, Isle of Palms, SC, Isle Of Palms, South Carolina 29451 | <p>My last submitted comment asked for a yes vote for the Conservation Recreation zoning, including the golf course land outside the Wild Dunes gates that borders my street Intracoastal Court.</p> <p>I was pleasantly surprised that a Councilperson replied and wondered how I felt about the other zoning ordinances. Thank you for asking! My husband and I both support all 5 zoning ordinances and ask for your YES vote on all 5 of them.</p> <p>Thank you.</p> <p>Carol Dawson</p> <p>A Dawson</p>   | City Council                                 |
| 11/1/2022 7:51 PM     | Kenneth O McDowell     | 16 Fairway Village Lane, Isle of Palms, South Carolina 29451               | Please support the Ordinance 2022-12, to protect Isle of Palms from overdevelopment. The Wild Dunes resort is in a position to ruin the quality of life in our community. Unrestrained development could destroy property values, overwhelm city services and overcrowd our streets. The purpose of our government is to protect the voters from unregulated actions of people who don't live here. Please do your job.  | City Council                                 |



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| 10/31/2022 11:07 PM | Ms. Patsy Ballou Hindma | 7 Barnacle Row, Isle of Palms, South Carolina 29451 | IOP Residents are overwhelmingly in favor of passing all 5 of the proposed zoning ordinances to limit further development by the owners of Wild Dunes Resort. Anyone on Council or the Planning Commission who does not support these 5 ordinances needs to speak up now and explain to IOP Residents one or the other of 2 things: (1) What is your plan for limiting further development by Wild Dunes Resort if not by zoning ordinances? or (2) What are your plans for changing the IOP infrastructure to accommodate the additional development that will occur if the 5 ordinances are not approved? Don't go into Executive Session to discuss this and come out saying that no decisions were made while in Executive Session. If you don't support the 5 ordinances, you owe it to the IOP Residents to tell us why not, and what you would do if the ordinances are not approved.   | City Council |
| 10/31/2022 9:31 PM  | Ms Heather Witheford    | 43 Morgans Cove Drive, IOP, South Carolina 29451    | As year round residents please vote to protect our island community and environment.<br><br>Vote yes to provide the time to find the best way forward, a future that serves the good of all, and a path that will protect the environment and wildlife from unnecessary stressors.<br><br>Vote yes — especially on ordinance #5 as it specifically prohibits further development — so that we can once again come together and accomplish great things, and with ample time to restore consensus and weigh those options wisely.<br><br>thank you, Heather and Tom Witheford   | City Council |
| 10/31/2022 11:34 AM | william connelly        | 89 seaside wild dunes, iop, South Carolina 29451    | Mayor Pounds ; I have owned a home in Wild Dunes for over 20 years. Two or so years ago the Hotel group [Dart/ Lowe] overnight tore out the existing tennis courts with no notice to the greater community surrounding the courts. We immediately requested a meeting with the WDCA and the Hotel group to voice our concern. We were informed this was going to be a commercial employee parking lot.<br>A meeting attended by the past president of WDCA and several of the hotel officers was arranged. I requested that the Hotel and WDCA produce the zoning studies for traffic and safety, environmental impact, etc. the hotel officers stated none were needed because the 1975 WD governing documents permitted this without any studies or community impute. The past WDCA president said WDCA has no authority over Hotel land.<br>I went to the IOP zoning office and requested all permits pulled for the tennis court demolished and paving, none existed. I informed the IOP zoning office that the hotel intended pour over a half a football field of concrete and that at the very least SCDHEC should be involved. SCDHEC finally took note and the project was stopped pending permitting. That's the only stopgap that prevented this project. Again note the WDCA continued to insist they had no authority over hotel property and their use of the same.<br>I continued over the years to attend WDCA meetings and spoke with suggestions on how the WDCA could prevent this dangerous parking lot design in the middle of a very busy neighborhood. All suggestions were meet with the same answer; only the Hotel controls their property. I retained an attorney and have a complaint in public nuisance ready to be filed.<br>There is a huge loophole that was never intended in the 1975 WD documents regarding zoning. Mayor Pounds the Hotel group has been on notice regarding these issues for a long time and are exploiting this 1975 document to the detriment of the Island. Please reverse your vote. I am available with documentation should the IOP council wish further information. Thanks for your service. P.S. at the last WDCA meeting there have been zero home owners to date that are against these proposed changes and only 6 questions according to the WDCA board. | City Council |

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| 10/30/2022 3:53 PM | Mrs. Carol L Dawson      | 18 INTRACOASTAL CT, Isle of Palms, SC, Isle Of Palms, South Carolina 29451 | <p>Hello. My name is Carol Dawson and I live at 18 Intracoastal Court. I had planned to say this at the Rec Center on Tuesday Nov. 1, but now I have the flu, so please enter my comments into the record.</p> <p>I have been coming to the IOP since I was 6 years old. My parents' beach home on Palm Blvd. was sold and a "McMansion" built. When my husband was close to retirement we wanted a quiet street, so we built a home on the back side of the island, outside the Wild Dunes gate, on Intracoastal Court. On one side of my street is the Harbor golf course, and on the other side is the Intracoastal Waterway. I love this island and I love where I live. Our street has 31 owners--30 houses and 1 empty lot. I am in charge of the street directory. Approximately 2/3 of us on my street are IOP voters. The other 1/3 are interested citizens, but they live in other cities. And yes, we now have 3 Short Term Rental houses on the street. We communicate with group emails among ourselves about issues--we'd like our street pot holes fixed, but another issue is zoning. One neighbor is concerned over the aging club facilities inside the Wild Dunes gates but NOBODY has advocated for the destruction and development of the golf course. To those who say, what about a developer's property rights...well, things do change. I added a pool recently, only to find out that the % of permeable land required had changed. I had to remove my entire large cement driveway. Also, I couldn't just put the pool where I wanted...there were surveys, set backs, permits, restrictions....lots of rules had to be obeyed. That new sewage plant is at the end of my street, right across on Waterway Blvd. Down Waterway Blvd are those massive engineering water projects. We have water issues and I read the island only has 4.4 square miles of land.</p> <p>We need green space, we need trees, we need vegetation!</p> <p>We've discussed this enough.</p> <p>COUNCIL----please vote yes to Conservation Recreation Zoning.</p> <p>Thank you.</p> | City Council |
| 10/29/2022 5:35 PM | Mrs. Deborah Ann Elliott | 9 Palm Ct., Isle of Palms, South Carolina 29451                            | <p>Good evening! Please I would like to register my support of the five ordinances that are being presented to the Mayor and city council.</p> <p>Due to a travel commitment, I am unable to attend hearing on November 1 but clearly wish to state my opinion. I am a full time resident with my husband at 9 Palm Ct, having lived here since December 2010. I am a nurse, not a rocket scientist but I am horrified, perhaps even scared by the ramifications of climate change and the massive development up and down the east coast! The most recent Hurricane Ian hit the Fort Myers coast with a costly vengeance and even with a significant lead time to the event, the outcomes to life and property were catastrophic. So many fingers to point but one must recognize that overdevelopment in a vulnerable area was a major contributor. Please vote for managed growth and development that is coupled with worst case scenario disaster planning. As of now, going to Target, Harris Teeter or church on a weekend for 6 months of the year is challenging at best. Thank you for being our leaders and insuring a quality of life for us residents. My best regards, Deborah Elliott</p>   | City Council |

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| 10/27/2022 12:02 PM | Mrs. Sarah Vega | 104 Sparrow Drive, Isle of Palms, South Carolina 29451 | <p>"The effectiveness of data and analysis in decision making depends on more than just technical competency; it also depends on the ethical integrity with which analysis is performed and presented. Ethics in analysis requires full disclosure of the purpose of the analysis, and all the biases, trade-offs, and shortfalls encountered along the way. Analysts should not hide facts, change data, falsify results, or consider only data that support a favored conclusion. Analysts should also fully report the sources of their data, data collection methodologies, and any possible gaps and shortfalls, and they should assess the impact of such shortcomings on their findings."</p> <p>Those are not my own words. They are taken straight from my research methods textbook, a core resource for the Master of Public Administration degree program in which I am enrolled. For my undergraduate degree, I also took multiple courses in quantitative methods and marketing research, which all emphasized integrity. No matter the discipline, guiding principles of research include being honest, objective, accurate, and complete. I would argue they matter the most in public service.</p> <p>You have been elected to serve all residents, taken an oath, and agreed to a code of conduct, yet this council's discussion on Short Term Rental data on October 25 largely ignored the need for integrity when analyzing data intended to inform policy.</p> <p>I would like to start by saying that it was not wrong of you to ask for more clarity on who participated in the 3 listening sessions. Validity matters, and I know you want to put residents first, so you should absolutely do what you can to correct the omission of this critical data. I believe, contrary to what Desiree indicated, that you can actually confirm what portion of participants were full-time residents, STR owners/managers, 2nd homeowners, or some other category. My understanding is that all participants signed in when attending. While it might be a tedious exercise, city staff should be able to use sign-in sheets to cross-reference registration data—in which people indicated which category they belonged to—and provide you with a breakdown so you can clearly understand whose priorities are represented. I hope you will direct city staff to do so.</p> <p>I found it extremely troubling, however, that while these listening sessions were facilitated by a professional business with nothing to win or lose from the outcome, and while you were provided both summary data as well as a verbatim manuscript of what was written by each group, many of you who spoke were quick to attack the methodology and validity of the data. This same professional moderator indicated to you all that 70-80% of listening session participants, his estimate based off show of hands at the sessions, were full-time residents. That's 98-112 people, your constituents, whose opinions are reflected in the session summaries. We had a council member cite a truthful number about the recent growth—200 STR licenses—yet fail to acknowledge the whole truth until it was called out as a possibility that at least a portion of that increase is a direct result of this STR policy even being considered. How do we know this possibility is actually part of the whole truth? At the first listening session, a gentleman literally stood up holding his rental license and indicated that he only had it because of this policy being under consideration. Sharing that data point with integrity means acknowledging that we need to seek out a breakdown of how many of those new license holders are actively marketing their properties as STRs, instead of using the data point to incite fear that we've already "flipped" and further the narrative of STRs as the biggest villain in our community. We had a council member specifically citing something that was only "heard" about the level of participation from Wild Dunes employees. We had several council members speculating about people's motivations to attend a listening session, with no data to back it up. Asking questions about data presented is an important part of analysis; doing it in a biased way is not. Interestingly enough, only one council member out of all those who spoke thought it important to question the validity of a survey conducted by BIPA. The survey was cited by multiple council members as being part of the "public comments" document available online as a supplement to the agenda, yet I don't see the data publicly available anywhere. I have downloaded the comments document, skimmed each comment in search of survey data, and searched the document using the keyword "survey" to no avail. The numbers that I heard quoted in the audio recording were 340 emails sent, 29% response rate, and 69% of that 29% in favor of a cap. While 29% may indeed be "great" when it comes to response rates for surveys, the calculation comes out to 98.6 people in favor of a cap.</p> | City Council |
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|                     |                        |  | Again, the listening sessions had 140 participants combined, and 98-112 of those are estimated to have been full-time residents. Because methodology and validity of data are being called into question for the listening sessions, I implore you to ask the same questions of the BIPA survey. How was the sample chosen (who received an email – their whole mailing list, a random sample, some other methodology) and how many of those who responded are full-time residents versus one of the other categories mentioned above? I do apologize if you as a council have this information via the survey data you’ve seen, but it was not articulated verbally during your meeting for me to use as a reference point. I encourage you to correct the omission of this data on our city website so that the public can actually see what you’re seeing and provide you with more informed feedback. My ultimate request is for you to not apply a high level of scrutiny to one set of data if you are unwilling to do the same for all data being examined as you move toward a policy decision on this very controversial issue. Thank you.   |              |
| 10/26/2022 11:33 PM | mr raymond A jenkins   | 8 OYSTER ROW, Isle of Palms, South Carolina 29451          | Pass the 5 Ordinances.  | City Council |
| 10/24/2022 11:02 PM | Nancy J Smith          | 16 Lake Village Lane, Isle of Palms, South Carolina 29451  | <ol style="list-style-type: none"> <li>1. If we fail to pass these amendments we cede our ability to control the Resorts’ continued overdevelopment. More time is not in Homeowners’ interest. Vote to adopt the amendments asap.</li> <li>2. The immediate risk is approximately 400 more units (1,2,3+ bedrooms) being built in Wild Dunes, replacing smaller, recreational buildings.</li> <li>3. This will result in construction barricades, pile drivers, dump trucks, sand removal and cement and asphalt trucks. New units will necessitate improvements to existing infrastructure – a new bridge, more sanitation and postal workers, new sewage treatment facilities and water and drainage programs, additional firehouses and more fire and police officers. Why should our taxes pay for that which we don’t need? In order that the Resort maximize its profits. Just say no.</li> <li>4. Long term risk is that this is just the tip of the iceberg. What started as a lovely hotel, The Boardwalk Inn, mushroomed into the Villages while we all walked and jogged by and worried about the colors and the size of the building. Next came the monstrosity which is the Sweetgrass Hotel and Residences with a water park on one side (with piped in music from 8 AM every day) and a sweeping driveway up to a big hotel on a BIG HILL – a man made hill – instead of the flat land and fitness center that was there.</li> <li>5. Every inch of Resort owned property will be monetized, There are dollar signs on the dunes and the golf courses – certainly the tennis court weren’t pulling their weight. So they turned into a parking lot.</li> <li>6. Stop the destruction of our paradise. We bought homes to be on The Isle of Palms NOT at a massive wedding venue.</li> <li>7. When we die we want to hear music from our own soundtracks, not from someone else’s wedding.</li> </ol> | City Council |
| 10/24/2022 7:06 PM  | Mr Roger B Privette    | 34 Morgan Creek Dr, Isle of Palms, South Carolina 29451    | <p>Please vote yes for ordinances #08,09,10, 11 and 12 currently being considered. We certainly do not want to ruin the beauty of this small piece of heaven! In addition I don’t see how WD and IOP could stand much more people and vehicle traffic!</p> <p>Please add this email to the citizens comments.</p>   | City Council |
| 10/24/2022 5:13 PM  | Mrs Lizbeth W Privette | 34 Morgan Creek Drive, Isle of Palms, South Carolina 29451 | Please vote YES on all 5 ordinances (2022-08, 09, 10, 11, 12) when this email comes up for a vote. I respectfully request that you include this email in the citizen’s comments.  | City Council |

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| 10/24/2022 4:33 PM | Kathy Lubin    | 20 Oyster Row, Isle of Palms,<br>South Carolina 29451 | <p>On Friday, October 21st, I left my house on Oyster Row at 11:40 for a 12:00 reservation at Acme Low Country Kitchen. I picked up a friend on Oyster Row and another one on Barnacle. We were 10 minutes late for our reservation because traffic was so backed up on Palm heading towards 41st that we literally inched our way to the stop sign. And it wasn't much better once we made the dog leg turn off of 41st. There was no garbage or recycling pick up. There were no contractor trucks slowing traffic on Palm. It was just volume. In October. I had to leave my 81 and 82 year old friends at the door and park in the county lot because there were no spots at the restaurant. On a Friday, in October, at noon (well 12:10).</p> <p>I am thrilled for our businesses to be busy and root for the success of our local businesses as well as the resort. But this beautiful, tiny island can NOT handle any more major development. It simply can not handle it.</p> <p>I have only been coming here for twelve years. I can not imagine how heartbreaking this is for our long time neighbors and natives of Isle of Palms.</p> <p>Please do what you can to stop the overdevelopment of Wild Dunes and Isle of Palms. Our corporate neighbors in Wild Dunes have not been good neighbors and we can not give them the chance to ruin this island. They have proven they have no regard for the commitments they have already made to be good stewards of the land. They continue to violate the noise ordinance. They are dismissive of resident feedback. They promised to set up shuttles for employees to prevent traffic, overcrowding and parking limitations on IOP but only a very very small percentage of their 800-900 employees utilize that shuttle and that is because they are mostly J1 and H2B employees in corporate apartments off premises. The rest of the employees are on the connector and on Palm along with resort and convention guests. It is too much. And it needs to stop.</p> <p>Thank you.<br/>Kathy Lubin<br/>20 Oyster</p> | City Council |
| 10/24/2022 4:11 PM | Leigh Ann Byrd | P.O. Box 594, Isle of Palms,<br>South Carolina 29451  | <p>As a tourist from 1988 to 2002 and now long time owner/resident in the Residences at Sweetgrass, I am totally against any more development in Wild Dunes. Arriving here on a family vacation was always a delight as we checked into island life with elbow room, the beach, the quiet island and Charleston 20 minutes away!! Do not forget this as families coming now still come to refresh, relax, enjoy recreation and spread out with our island nature and adventures. A balance is now achieved with the new Sweetgrass Inn where visitors have a plaza hub of quality choices for activity, yet also can easily escape to spaces dedicated to island native environment, i.e. something for everyone. Every amenity we have is used and valued and should not be eliminated for more condos/hotels! The Wild Dunes Resort Strategic Plan was made long ago before a connector to the island. We share the Island with permanent residents that deserve Wild Dunes to accept the current balance in development and say no to any more condos, hotels, etc. All visitors must travel all the way to us affecting quality of life for island residents, for us, + traffic and people issues before they even check in! The Sweetgrass Inn, Village, BWI, all villas and homes provide a perfect blend for memories. All green space still left balances native wildlife and honors this island's heritage. Quality choices are maxed out! NO MORE DEVELOPMENT! I am asking IOP Council to absolutely vote NO at the November 1st meeting to adding any more Wild Dunes development with it's resulting crowding, parking, security, noise, and destruction issues to this precious island environment and watershed. I also say No to removing current amenities such as golf/tennis clubhouses, owners pool, etc. Remodel, repurpose update, re-envision instead. Respectfully submitted, Leigh Ann Byrd.</p>   | City Council |

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| 10/24/2022 4:10 PM | Beverly Miller | 3 Fairway Village Lane, Isle of Palms, South Carolina 29451 | <p>I write today on behalf of Barrier Island Preservation Alliance (BIPA). In July, BIPA sent a survey to subscribers on Isle of Palms regarding Short-Term Rentals (STR). Approximately 340 emails were sent, and we had a 29% response rate. Given that tonight's October 25 agenda includes a presentation by Rick Bradley reporting on the city's STR listening sessions, we want to share the results for the public record. Here are the results for those questions that were quantifiable:</p> <p>Respondent data:</p> <ul style="list-style-type: none"> <li>-<del>91</del>1.5% of all respondents are full-time residents. The remainder are either part-time residents (second homes) or nonresident owners of STRs in the city. <ul style="list-style-type: none"> <li>o 85.7% of full-time residents live in a neighborhood with short-term rentals</li> </ul> </li> <li>-<del>11</del>1.8% of all respondents are owners of STRs on IOP, with the majority actively renting and a few intend to obtain a rental license this year <ul style="list-style-type: none"> <li>o STRs owned were split fairly evenly among Wild Dunes, South of Connector, and North of Connector (Total number was too low to be a material consideration)</li> </ul> </li> </ul> <p>Regarding the current STR Ordinance: Is a revision needed at this time? (Question 9)</p> <ul style="list-style-type: none"> <li>-<del>67</del>4% said Yes, a revision is needed; 20.7% said No, and 12% were Undecided</li> </ul> <p>Given that the surrounding coastal communities are all imposing restrictions/limitations on STRs, should Isle of Palms also place restrictions at this time? (Question 11)</p> <ul style="list-style-type: none"> <li>-<del>72</del>3% said Yes, restrictions are needed, 18.1% said No, and 9.6% were Undecided</li> </ul> <p>Regarding a cap on STRs: Should there be a cap? (Question 13)</p> <ul style="list-style-type: none"> <li>-<del>68</del>8% want a cap on the number of STR units in the city; 16.1% do not want a cap, and 15% are undecided</li> </ul> <p>Should the number of STR units be limited in certain neighborhoods or zone areas? (Question 15)</p> <ul style="list-style-type: none"> <li>-<del>58</del>7% said Yes, 28.3% said No, and 13% were Undecided</li> </ul> <p>Should full-time residents who rent their homes for less than 72 days of the year and who still qualify for the 4% property tax rate be exempt from any STR cap? (Question 17)</p> <ul style="list-style-type: none"> <li>-<del>34</del>4% said Yes, 51.6% said No, and 14% were Undecided</li> </ul> <p>The remainder of the questions required "Open Text" answers. The following general concerns were fairly consistent throughout several of these questions:</p> <ul style="list-style-type: none"> <li>-<del>N</del>oise</li> <li>-<del>E</del>itter</li> <li>-<del>N</del>umber of occupants</li> <li>-<del>B</del>ack of enforcement of STR rules now in place, with regard to the above</li> <li>-<del>N</del>umber of cars per rental property, resulting in traffic congestion and parking irregularities</li> <li>-<del>R</del>ental units are encroaching on historically low STR areas <ul style="list-style-type: none"> <li>o <del>K</del>eep rentals in the commercial zones near front beach</li> </ul> </li> <li>-<del>S</del>train on public works and public safety</li> </ul> <p>The following is a sampling of the considerations that should be given if STRs are limited in some way:</p> <ul style="list-style-type: none"> <li>-<del>M</del>inimum required stay (Limit rentals to weekly)</li> <li>-<del>O</del>wners must ensure that renters are informed about, and abide by, community regulations <ul style="list-style-type: none"> <li>o <del>C</del>learly communicate and enforce the rules</li> <li>o <del>I</del>mpose stronger penalties for violations</li> <li>o <del>I</del>mpose tighter restrictions on rental bikes (especially e-bikes)</li> <li>o <del>R</del>equire dog license purchase with a highly visible collar similar to Sullivan's Island</li> </ul> </li> <li>-<del>L</del>imit # of cars per rental property. Easy to do in Wild Dunes where gate passes have to be issued.</li> <li>-<del>K</del>eep STRs in concentrated areas only near beach access</li> <li>-<del>K</del>eep STRs in commercial areas only</li> <li>-<del>P</del>roperty rights, with arguments on both sides: <ul style="list-style-type: none"> <li>o <del>P</del>roperty values may decline if STR growth is not limited</li> <li>o <del>I</del>f STRs are limited, it could impact the owner's potential future income</li> <li>o <del>S</del>TRs bring valuable income to the city. Property owners deserve equal protection which these zones do not offer.</li> </ul> </li> <li>-<del>H</del>ire a full-time administrator to manage STRs.</li> </ul> <p>All questions and complete respondent answers have been sent to the City Clerk, as I am unable to upload documents through this portal. I respectfully request that the City Clerk include those documents as part of this Public Comment.</p> | City Council |
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| 10/24/2022 3:37 PM | Glenda Nemes | 3006 Cameron Blvd., Isle of Palms, South Carolina 29451 | <p>My day as a full time resident October 22, 2022</p> <p>Today I “called in” illegal parking for over an hour in the lane of traffic on the road out front by three cars”. 40 minutes later officer Hammond responded. His decision was to ask 1 car to move and allow 2 cars to remain in road for over an hour because the drivers were in the area. After he left, I am now listening to those drivers telling some people when asked that they were never doing anything wrong. IOP police let them do what they want any time. Don’t be concerned about iop police. They were off island professional paid drivers saying this.</p> <p>Before he left, I asked the officer why he didn’t send the drivers to Palm Blvd to park Legally and free and be called when the people were ready to get in the car. He said parking in road was ok and not causing a problem. It was the solution he had chosen. I watched as golf carts, cars and bikes, walkers and others walked in opposing lane of traffic the whole time. Cars or others had to stop when opposing traffic came because of the parking the officer allowed in the lane of traffic which obviously was a safety issue. I could not have seen oncoming drivers , as would not several neighbors if coming in and out our driveways. The cars blocked mailboxes on a mail delivery day. There is a law about parking in active lane of traffic for that reason.</p> <p>I kindly asked officer why, as a resident, he could tell me , parking 3 cars in a lane of traffic for over an hour was ok and he said because everyone was easily going around them. And they would move them if postal service came.</p> <p>So the officer gets to pick and choose who and when the law applies. And endanger safety of all to “help out” 1 short term rental property group who could care less about following our rules and laws. The drivers were for people in a rental house who had filled the property driveway with 7 cars- the max the property could hold.</p> <p>I hope you made note of lack of enforcement being the reason our citizen listening sessions overwhelmingly said Police needed to enforce laws for livability/ safety. I don’t find police approach acceptable as a resident. Only Council can see that our laws are enforced by officers who don’t reside here and many show little concern for our residents. Our own Police chief ( who currently looks irresponsible for shooting himself in our public safety building), stood in the listening session and heard “lack of enforcement “ yet continues down same path.</p> <p>Is this ok?</p> | City Council |
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**CITY COUNCIL MEETING**  
**6:00pm, Tuesday, October 25, 2022**  
**1207 Palm Boulevard, Isle of Palms, SC and**  
**broadcasted live on YouTube: <https://www.youtube.com/user/cityofisleofpalms>**

**MINUTES**

**1. Call to order**

Present: Council members Hahn, Bogosian, Anderson (via Zoom), Ward, Streetman, Popson, Miars, Pierce, and Mayor Pounds

Staff Present: Administrator Fragoso, City Attorney Halversen, various department heads

**2. Citizens' Comments**

Al Clouse of Wild Dunes gave a detailed description of the daily noise violations in his neighborhood. He shared that some of the speakers he mentioned at the last meeting have been removed, but he wants all of them gone. He does not believe recording decibels are the answer to the noise problem. He thinks if there is noise loud enough to bother someone, it is too loud.

Elizabeth Campsen spoke about short-term rentals. Her comments are attached to these minutes.

Howard Hough or "Beach Santa" spoke about a recent beach sweep where he picked up hundreds of cigarette butts. He said the butt cannisters are making a difference. He suggested giving the trashcans at the Front Beach a thorough cleaning so as to make keeping the beach clean a good experience for everyone.

**3. Special Presentations**

**A. Consideration of Signal 30 Award to Harold Hirshmann for saving neighbor's life**

Mayor Pounds shared the meaning of the Signal 30 Award and how Mr. Hirshmann came to be nominated for the award.

**MOTION: Council Member Ward made a motion to approve giving the Signal 30 Award to Mr. Howard Hirshmann. Council Member Streetman seconded the motion. The motion passed unanimously.**

**B. Presentation of Short-Term Rental Listening Sessions Report – Rick Bradley**

Mr. Rick Bradley who facilitated the recent short-term rental listening sessions gave the report of his findings to City Council. All of the information recorded on the flip charts at each session has been digitized and is available for review.



He reviewed the questions asked during the sessions and shared the most popular answers for each question. The most popular answers to the final question, “What is the biggest message you want to give to City Council?”, were start with the enforcement of current short-term rental rules and regulations and strengthen those where needed; focus on quality of life and livability; protect property rights; no strong support for caps/zones; and there are bigger issues to tackle.

Mr. Bradley said, “If you look across all five of the questions, I saw the three listening sessions as a lively debate with property rights and livability being two of the dominate things, and stronger enforcement of short-term rental rules being a priority for those that participated over caps and zones.”

Council Member Streetman referred to the recent survey conducted by Barrier Island Preservation Association (BIPA) noting that a significant majority of their respondents want rental caps, which is very different from the outcomes of the short-term rental listening sessions.

Mr. Bradley said that there is a lack of understanding throughout the community about what caps and zones mean.

Council Member Pierce said everyone needs to be mindful of the fact that the island may be becoming a rental community with residents instead of a residential community with renters.

Council Member Anderson said it is important to know the breakdown of permanent residents, second homeowners, and property owners who participated in the listening sessions. She said those with the most to lose by any change are the ones most motivated to attend such gatherings.

Council Member Hahn said the bump in short-term rental licenses the City is seeing is because people are scared there may be a rental cap implemented. He suggested employing a “some type of a stay on issuing more licenses until such time as Council makes a decision just to stop people from hoarding licenses because they are afraid we may do something.”

#### 4. **Approval of previous meetings’ minutes**

- A. City Council Regular Meeting – September 27, 2022
- B. Special City Council Meeting – October 11, 2022
- C. City Council Workshop – October 11, 2022
- D. Special Personnel Committee – October 18, 2022
- E. Public Hearing – October 18, 2022
- F. Special City Council Meeting – October 18, 2022
- G. Special Real Property Committee – October 20, 2022

**MOTION: Council Member Streetman made a motion to approve the minutes as presented. Council Member Popson seconded the motion. The motion passed unanimously.**

**5. Old Business**

**A. Update on efforts to install an elevator in the new marina restaurant**

Mayor Pounds and Administrator Fragoso reported that they are waiting on a viability memo from Trident Construction about the elevator as well as a report from the restaurant about the potential impact of the elevator on restaurant operations. It may be another week before this information is received.

Administrator Fragoso added that City Council passed a motion in November 2021 to use tourism funds to pay for the elevator installation.

**B. Discussion and consideration of proposed changes to the noise ordinance**

City staff continues to work on the draft noise ordinance. Administrator Fragoso said the draft is based off the one currently being used by the Town of Mt. Pleasant. Staff continues to evaluate research into noise ordinances used by similar popular tourist destination communities. She has met with Mr. Al Clouse for his feedback. They are considering having different decibel levels for differing locations and times of the day. She would like feedback from City Council about decibel levels as well as whether or not there needs to be sections about noise from pets and vehicles.

Council Member Ward wanted to know what is being done to help the residents like Mr. Clouse at 57<sup>th</sup> Avenue. Administrator Fragoso said Chief Cornett has had meetings with the residents and instructed them on how to file complaints through the non-emergency number that will dispatch an officer to the area. They are also meeting with Wild Dunes management who have removed four of the speakers near the property line. She will speak to them further about the increased volumes.

Administrator Fragoso said that during her meetings “we agreed to employing a sound engineer to come in sort of as a third party to evaluate sound abatement measures, something that we can require the resort to implement. In addition to that, we are researching, we are looking into other resorts and trying to figure out something that is the right balance” between a commercial property and a residential property.

Council Member Pierce asked if the remaining speakers can be removed and directional speakers be put in place so they are not facing residential areas. Council Member Bogosian agreed and said the speakers should be closer to the pool, adding that Wild Dunes should pay for any sound abatement.

Administrator Fragoso said that Wild Dunes is not opposed to do doing more to alleviate the situation and she will request more of them. She would like to have the sound engineer be a neutral third party. A follow-up meeting is planned for next week.

Chief Cornett stated, “We did pull our calls for service for the hotel for the year, but we pulled those, remember that is managed through Charleston County Consolidated Dispatch, and so how they put those calls in we found actually anything in that vicinity they were putting in for that address, so we were not very confident in all of these numbers. But we did ask them to pull calls

related to disturbances and nuisances because that is how they put them in. The downside to that is that could be a loud noise complaint, that could be somebody who just saw somebody that was outside, and we stopped to go talk to them. But with that, we saw 8 in 2021 in calls of that type and then we saw 21 for 2022 so far this year. In reference to the Clouses, I think their most recent email they were pretty satisfied with our approach and how we are working with them to mitigate these resources. We have officers that worked out at that event, and they are instructed to walk the perimeter continuously to make sure that the sound is not getting out. That is something that started this week, pushing that out to make sure that we are being proactive on our and so that it never has to turn into a complain from a resident. We have shut down other events taking place.”

Chief Cornett also reported on a new portal that will allow residents to file their complaints online and it will immediately be routed to the officers on duty and the Code Enforcement officer. This will provide the department with better tracking information. He also reported that the City is having trouble filling the part-time Code Enforcement position and are looking for ways to make that more position attractive. Administrator Fragoso reminded Council that there are only 3 officers on duty at one time and they need to prioritize their calls.

City Council members agreed there needs to be more work done on this ordinance at the committee level.

**C. Update on Requests for Proposals or City Attorney and Assistant City Attorney**

Council Member Bogosian said the Personnel Committee will interview the three candidates for City Attorney and two for Assistant City Attorney at their meeting on November 1. They will give a recommendation to City Council on November 15.

**D. Consideration of purchase of used Vac Trailer Truck for stormwater**

Assistant Director Asero said the purchase of the vac trailer truck will be helpful in providing a higher and quicker level of maintenance across the island, especially following the installation of 11 new tide valves. The new Stormwater Foreman operated this same truck for the Town of Mt. Pleasant. He said they are sole sourcing this purchase because they could not find one that was compatible.

Administrator Fragoso said they would like to defer the purchase of boom lift and the lease for an excavator to put towards this purchase. She said the difference in cost of approximately \$14,000 will be made up by doing work in house that would have been done by Eadie’s. The City will still contract with Eadie’s at the same amount but will redirect them to other areas with larger infrastructure.

Administrator Fragoso said about the Eadie’s contract, “For this first year, we do think that by redirecting some of the resources with Eadie’s we will get a net savings of that difference between what we have identified in the budget, but we will maintain our budgeted numbers. On an ongoing basis, it’s just that we are going to be able to do more than we have in the past and quicker.”

According to Assistant Director Asero, a comparable new model “was \$138,00 but then you had to add about \$115,000 in for what this machine has on it.”

Administrator Fragoso added, “The trailer is going to be connected to an existing vehicle, so we do not need to purchase a vehicle to attach this. We are going to use one of the ones that the department currently uses for other things. I fully recommend approval and request approval by this Council.”

**MOTION: Council Member Ward made a motion to approve, and Council Member Hahn seconded the motion. The motion passed unanimously.**

**6. New Business**

**A. Consideration of award of a contract to Bury’s Footers for an amount of \$39,405 to construct a new enclosure for the dumpsters at Front Beach**

**MOTION: Council Member Ward made a motion to approve, and Council Member Hahn seconded the motion.**

Administrator Fragoso said, “We included in our FY23 budget, there is \$100,000 that is earmarked in our hospitality fund. The \$39,000 will definitely come from that \$100,000, and we will still have some monies left for the installation of an odor control system to help with the smell and help us maintain an ongoing weekly cleaning of the enclosure and have an exterminator come in and help us deal with the rat population.” She added that several people responded to the RFP. The enclosure will be built in the offseason.

**VOTE: The motion passed unanimously.**

**B. Discussion of recommendation from the Real Property Committee for parking layout Option C for the Intracoastal side of the marina to eliminate shared parking area and establish City parking and greenspace area and consolidate/expand Islander 71’s exclusive parking lot. Additionally, to request Matt Cline to develop another alternative to review that increases boat trailer parking in what would be the City parking lot**

Council Member Streetman reviewed what was presented at the Real Property Committee and why his preference is Option C, which has the most resident trailer parking availability (10 spots).

Administrator Fragoso said that Matt Cline did present another option today, Option G, which has not been reviewed by the Committee or Islander 71. This option has 7 trailer parking spaces and two entrances. She would like some direction from Council for what numbers of car parking and trailer parking spaces they would like at the marina. She noted that if there is no agreement on a final parking layout, then the lot will remain as it is.

Council Member Miars would like to hear what Islander 71 thinks of Option G. She would like to have the matter sent back to the Real Property Committee for further discussion. Mayor Pounds said he believes they are close to agreeing on an option and that Option G appears to “ring all the bells.”

Council Member Hahn would like to see separate entrances “so that we don’t have disagreements and arguments in the future about anything being shared.

Council Member Miars explained the safety issues noted by Mr. Cline in Option C that were fixed in Options E and G. She also believes Options E and G provide a larger space for residents.

Council Member Anderson explained her preference for Option C in that it provides for more resident parking and allows for future development of greenspace that could include kayak storage. She said, “Don’t design the parking lot for the busiest day of the year.”

Administrator Fragoso pointed out that more car and trailer parking could become available to residents when the ditch at 41<sup>st</sup> Avenue is piped over. Council Member Ward expressed concern that the first thing people see upon entering the parking lot is the dumpster area.

The matter will return to the Real Property Committee where Option G will be discussed in further detail.

**C. Discussion of Recommendation from the Real Property Committee to approve proposed amendment from Islander 71 to have exclusive rights to obtain a liquor license for the service of on-premises liquor, spirits, or mixed drinks**

Mayor Pounds said this item, if approved, will go into a lease amendment along with the parking agreement. Council Member Streetman explained that Islander 71 is asking to have a lease amendment to allow for them to have exclusivity for the sale of liquor by the drink. He noted that Mr. Schuler’s lease limits him to the sale of beer and wine only. The Real Property Committee recommends this request be added to the lease.

Council Member Hahn said, “Currently what we have is a marina lease that says you are going to do beer and wine only, and we have the restaurant lease. By adding this exclusion or this extra protection, I guess, for lack of a better word, to the restaurant, I don’t see that a, that the City is getting anything for that, and b, it is not really changing the current status quo. But what it is doing is we have got leases that are very long, 20+ years, and we do not know what may happen five years, ten years, fifteen years. So I would rather do nothing because it is currently in our hands as to whether or not somebody is going to serve liquor at the marina or not or anywhere else on that property. That is in our hand right now. So why muddy the waters by adding another layer to a lease when we don’t know what the future may bring?”

Administrator Fragoso said of the potential amendment, “It would only be a section. All we have is the original proposal that included a number of other amendments. There is only one section under 7.02 that you all would be considering, and it would be limited to the license that would allow them to have liquor including canned liquor... The restaurant would be the only one allowed to do that. But currently, the marina leases that were approved recently only allowed beer and wine. So if that doesn’t change, I think the status quo stays, but the restaurant is asking for an exclusive clause included in their lease.”

**MOTION:** Council Member Bogosian made a motion “to amend the Islander 71 lease to have exclusive rights for the service of on-premises liquor, spirits and mixed drinks.”

This being an item for discussion only, Administration Fragoso said any motion made today would be directional to ask our legal counsel to draft the proposed amendments. This proposed amendment and the parking agreement could be voted on separately or together. The matter will return to Council when the parking issue is agreed upon.

Council Member Ward said he also did not agree the City should “handcuff” itself in a long lease.

Administrator Fragoso said the amendment would “protect them from having a direct competition should you all decide to expand what is allowed in the marina store.”

**D. Discussion and consideration of proposals to bulkhead repair**

Mayor Pounds said four bids were received for this project. Staff is recommending the bid from Blue Tide.

Administrator Fragoso reiterated the scope of the project: “This would include the expansion, extension of the existing two-foot boardwalk, wooden boardwalk that is along the bulkhead so that we can create a pedestrian boardwalk all along the intercoastal side of the marina. It does include a component of repairs that are necessary to effectuate that extension. It would be 6’ wide IPE boardwalk all along that section of the marina. The recommendation is to go with Blue Tide. We have experience with them. They do really good work. They are properly licensed. The amount is \$288,000. This is not an item that is specifically budgeted in our FY23 budget, but the dock rehabilitation project that we just completed has a \$290,000 approximately contingency that was not used. We have closed that project, and you remember that we issued bonds for that project. So any excess of funds need to be used in marina-type activities, marina improvements, so we would recommend that we use that contingency number to conduct these repairs and expand and create that boardwalk all along the intercoastal.”

The goal is to have the project completed in the offseason.

**MOTION: Council Member Pierce made a motion to approve, and Council Member Miars seconded the motion.**

Council Member Popson pointed out this is a repair project. It is not a replacement of the bulkhead. Administrator Fragoso will look into the warranty on the work.

**VOTE: The motion passed unanimously.**

**E. Discussion and consideration of Public Relations and Tourism Coordinator Job description to cost share with the Charleston Area Visitors Bureau**

Mayor Pounds reminded Council that the idea for this came out of recent conversation with the Charleston Visitor’s Bureau. He referred to the draft job description in the meeting packet. He said, “Just to be clear, this role will be an IOP employee reporting to our City Administrator with a cost share with CVB.”

Administrator Fragoso said the position will be 55% public relations work and 45% tourism-related work. The 45% portion of the salary will come from the 30% of ATAX funds received by

the CVB. That person will work at the CVB one day per week “to be fully immersed with their staff, their events, their resources, and we can leverage those working for IOP. They would be the direct liaison with the CVB, the Chamber of Commerce, and other tourism-related activities.”

The estimated cost of the position is approximately \$96,000, of which the City will be responsible for \$60,000 fully loaded, and that \$60,000 is included in the FY23 budget although it was originally earmarked to outsource the public relations work. This person will be attending all ATAX Committee meetings.

**MOTION: Council Member Ward made a motion to approve the job description. Council Member Hahn seconded the motion. The motion passed unanimously.**

**F. Discussion of implementing a cost-of-living adjustment for City staff**

Mayor Pounds presented some options for a cost-of-living adjustment for City staff including a one-time COLA, a 2.5% COLA, and a 5% COLA. He is looking for direction from City Council about these options.

Administrator Fragoso pointed out that the Wage & Compensation Study brought city employees salaries to where they should have been. She added that the Town of Mt. Pleasant has provided a 2% COLA.

Discussion ensued about the options. Mayor Pounds said they would run some more numbers on the effects of the COLA options with current employee counts. He prefers a lower one-time COLA with a lower annual COLA. He would like to have Council approve something at the November 15 meeting so that it can be implemented before the end of the year.

Administrator Fragoso said, “We are trying to find out what the State is doing ahead of time. That is something Council Member Bogosian asked ahead of time. We don’t have it from a COLA perspective. But I do want to imprint on you all the importance of maintaining our compensation philosophy. Because we spent a lot of time working on this report last year, and the philosophy that Council approved at the time was that we wanted to be at market and exceeding market for Public Safety. And if we don’t treat this as something that needs ongoing maintenance, we will find ourselves behind again, and then we will need to make maybe a big chunk adjustment at that time like we did last year. I think anything is very well appreciated. I know we are balancing a lot of things at the same time. But we are seeing some turnover in some of our departments, and people are really leaving for a couple thousand dollars here and there.”

**G. Discussion and consideration of recommendation from the Personnel Committee for Council to rescind Resolution 2022-08**

Council Member Bogosian reported that the Personnel Committee recently met to discuss this item. He read from Robert’s Rules of Order about the process of dealing with a conduct violation. He said City Council did not conduct an investigation as dictated by Robert’s Rules or Order nor did it appoint a committee to determine if a charge was warranted. He said that since essential steps were not followed and he believes it will be a “lose-lose-lose situation” for the City, the Personnel Committee recommends the resolution be rescinded.

**MOTION: Council Member Pierce made a motion to rescind Resolution 2022-08. Council Member Anderson seconded the motion.**

Council Member Streetman said he watched the Personnel Committee meeting and agrees there needs to be a process in place going forward. He reminded Council that they voted in favor of having a hearing at the September 13 meeting and should honor that vote.

Council Member Hahn also agrees there needs to be a fair process. He believes the matter should be referred to outside counsel similar to the way Charlotte and Mt. Pleasant handle such instances.

Council Member Miars said, “Thank you so much to the Personnel Committee for looking into this in a professional, organized manner, for reading Robert’s Rules of Order. It is a fun book to read, and for paying attention to the fact that we do have Robert’s Rules of Order inherent in our City Code and our Code of Conduct. I would also like to thank all the people that have overwhelmingly supported me on this issue. I do not think that a public hearing would be best for the City. Council Member Streetman mentioned the fact that I did vote on the public hearing, and that is because I had already been determined to be guilty by members of this Council both on social media and in other ways. Since then, the Post & Courier, via The Moultrie News, has also determined my guilt. This process has been done so poorly. Almost every aspect of Robert’s Rules of how to conduct a proper investigation has been violated. So if we want to talk about dealing with violations of the Code of Conduct, Council Member Streetman and Council Member Hahn, I am more than happy to have those conversations as long as all potential violations of the Code of Conduct are dealt with. So unfortunately, I did not want to go there tonight. I thought we were just going to discuss this one issue which is the fact that the process was wrong, and so therefore, we should not be voting on a hearing at this point in time. What gets done in the future to address the process and all of the mistakes we have made regarding this Code of Conduct, I believe, are for a later date. However, I now feel that I have to defend myself again. So I am all for having an unbiased, impartial third party conduct an investigation, but again, that needs to be for all potential violations of our Code of Conduct. I would strongly recommend that we go with the recommendation of the Personnel Committee and rescind the public hearing at this point.”

Council Member Pierce urged Council to go forward with rescinding the resolution. He believes a hearing will create irreparable fissures among Council members and it would be a spectacle. He asked what good could come out of such a hearing.

Council Member Anderson also would like the resolution to be rescinded so that City Council can receive advice from counsel on how to move forward.

Mayor Pounds asked Council Member Bogosian if the intent is to “pick it back up with a redefined process.”

Council Member Bogosian said, “Yes, in fact staff is drafting some of the discussion. We had a long discussion around what the process should be, and it includes some type of a committee structure first to be able to warrant, to really look at the charges to determine if they are



warranted or not in order to take it to the next step would be a trial. I think the trial, what Brent passed on as a trial process, and the actual trial looks a lot like what is in Robert's Rules. So I think between those two things we will be able to come back to Council with what we view as what would be the process going forward should this ever happen again. But I think, as Scott said, this particular one, we can't go backwards, and it would be very hard in terms of fairness at this point to go forward with this one, and that is why we are suggesting we rescind it. The Personnel Committee will come forward to Council with what the process would be with any future cases like this."

Mayor Pounds asked if the Personnel Committee had any conversation about how to handle a violation of the Code of Conduct. Council Member Bogosian said Robert's Rules defines a process "for if there is a disciplinary case or how you work through it for one of its members." He believes a violation of the Code of Conduct would go through the disciplinary process as defined by Robert's Rules of Order.

Addressing how Charlotte and Mt. Pleasant handle such matters, Council Member Bogosian expressed concern about how independent counsel is selected. He believes the City had more pressing issues to consider at this time.

Council Member Pierce said that issues such as this should be dealt with as they happen and that "what happened back in June" should have been handled then.

When asked by Council Member Ward if the intent is to rescind the resolution and "forget the whole thing," Council Member Bogosian said, "I am asking that we not go forward with any disciplinary hearings or anything else regarding this case."

Council Member Ward asked, "So when we go into Executive Session, are you going to be comfortable in the future that everything that we need to hear from our attorneys or whatever that we can openly discuss and feel comfortable it will not be divulged."

Council Member Bogosian answered, "I do and I will feel just as comfortable if we had some spectacle of a hearing and the outcome was we censure Ms. Miars or whatever the outcome would be. I feel just as comfortable today as after we ended that very long, tedious, ridiculous, embarrassing process and got to a point that I would feel no different. That is what I am saying. The outcome and the result of this is not going to change anything except embarrass the City."

Council Member Miars said, "I am not going to sit up here go through everything, this whole process and defend myself tonight. I do not feel that this is the right place. I do think that we all need to think about ourselves and what we have done and said, and the things that were violations, could have been violations of things that were in Executive Session, items, specific dollar amounts that were posted on social media on June 9<sup>th</sup>. There is blame that goes around here, and I am the one who had the courage to write an article in order to get what I believed out in the open. It was in the public's best interest, which was my oath. And that is another issue. What happens when our Code of Conduct lists certain things that are in conflict with our oath? There have been plenty of things that people have told to their friends that have gotten out in the public that were discussed in Executive Session. So please don't make it seem that I am the only

person that has ever gone down that road. The specific details, if you all believe that we need a hearing, then that is your decision. I don't think it is best for the City. I don't know the solution because we've already gone so far down this wrong path in violation of Robert's Rules of Order which are codified as part of our City Code. We are supposed to follow Robert's Rules of Order and we haven't. So we have already gone down that road. So if we want to start talking about missteps and things that individual Council members have done wrong, that is fine. But we are going to talk about all of them. Not just me. The vote tonight is whether to go forward with the hearing."

Council Member Streetman said he heard threatening language from Council Member Miars. He pointed out that she was one of the people who voted in favor of a hearing on September 13. He does not see how "we can move forward without a hearing" adding there is a credibility issue that needs to be handled.

Council Member Hahn reiterated his request for a third party to be involved "since we have threatening language."

Council Member Miars responded, "I am not understanding what this threatening language is. All I am saying, all I have said tonight is that if we are going to think and look at potential violations of our Code of Conduct, we have to look at all members of Council potential violations of Code of Conduct. That is all I have said. And if you find that threatening, I am sorry, but it is not intended to be threatening. It is just a statement."

Council Member Anderson said she believes this is a procedural problem at this point. She would like the resolution rescinded and "go back to the beginning." She said Robert's Rules of Order is relevant.

Mayor Pounds said he is hearing two different paths – "rescind this and we will go back and start over on this particular issue as opposed to we are skipping this issue and moving onto the next one."

**VOTE: A vote was taken as follows:**

Ayes: Anderson, Bogosian, Miars, Pierce

Nays: Hahn, Popson, Streetman, Ward, Pounds

**The motion failed 4-5.**

#### **H. Discussion of Recreation Center visioning**

Mayor Pounds said discussing Council's vision for the Recreation Center as a recreation center versus a community center will help in deciding how to fill Director Page's position.

Administrator Fragoso said from 50 applicants, they will be interviewing 8 this week. She said that the position has been advertised as a Recreation Director, but if Council decides on a community center path, the role as supervisor would not change. They are looking for a leader.

Council members Ward and Streetman would like to see more of a community center focus. Council Member Popson suggested remanding the issue back to the Recreation Committee for

further discussion. Mayor Pounds encouraged residents to comment to City Council with specificity what they would like to see with regards to the Recreation Center.

**MOTION: Mayor Pounds made a motion to suspend the rules of order to add an item to the agenda: “an emergency purchase request for debris cleanup due to equipment failure and the timeframe to have that equipment repaired.” Council Member Ward seconded the motion. The motion passed unanimously.**

**I. Emergency Purchase Request for Debris Cleanup**

Mayor Pounds said it will take a few weeks to repair a frontend loader that failed yesterday. To finish up the debris cleanup, Public Works engaged a contractor to help. The bid in the packet from All Green Landscape in the amount of \$102,500 will be to finish the cleanup of storm debris. The monies will be taken from the Disaster Recovery Fund.

**MOTION: Council Member Ward made a motion to approve, and Council Member Hahn seconded the motion.**

As this storm was not deemed an emergency by the State, the City will need to fully fund this request. Administrator Fragoso said the work will be completed within five days.

**VOTE: The motion passed unanimously.**

**7. Boards and Commissions reports**

- A. **Board of Zoning Appeals** – minutes attached
- B. **Planning Commission** – minutes attached
- C. **Accommodations Tax Advisory Committee** – minutes attached
- D. **Environmental Advisory Committee** – minutes attached

**8. Ordinances, Resolutions, and Petitions**

- A. **Second Reading** – none
- B. **First Reading** – none
- C. **Resolutions and Petitions**

i. **Resolution 2022-10 – A resolution authorizing the consumption of beer and wine, amplified music, and street closures at the Lowvelo Bike Ride on November 5, 2022**

**MOTION: Council Member Streetman made a motion to approve and to waive the reading. Council Member Hahn seconded the motion. The motion passed unanimously.**

ii. **Resolution 2022-11 – A resolution authorizing the consumption of beer and wine, amplified music, and street closures at the Holiday Street Festival on December 3, 2022**

**MOTION: Council Member Ward made a motion to approve and to waive the reading. Council Member Miars seconded the motion. The motion passed unanimously.**

iii. **A Proclamation declaring November 17, 2022 as World Pancreatic Cancer Day**

**MOTION: Council Member Ward made a motion to approve and to waive the reading. Council Member Hahn seconded the motion. The motion passed unanimously.**

**9. Executive Session**

**MOTION: Mayor Pounds made a motion to move into Executive Session pursuant to:**

**A. SC Code §30-4-70(a)(2) to receive legal advice related to potential claims concerning alterations to Isle of Palms zoning districts**

**B. SC Code §30-4-70(a)(2) to receive legal advice related to the constitutionality of S40 and the restriping of the IOP Connector and potential claims**

**C. SC Code §30-4-70(a)(1) to discuss personnel matters related to the Leola Hanbury “Employee of the Year” Award**

**Council Member Streetman seconded the motion. The motion passed unanimously.**

City Council went into Executive Session at 9:04pm.

City Council returned from Executive session at 10:19pm.

**MOTION: Council Member Bogosian made a motion to approve the Employee of the Year award as discussed in Executive Session. Council Member Ward seconded the motion. The motion passed unanimously.**

**10. Adjournment**

Council Member Ward made a motion to adjourn, and Council Member Streetman seconded the motion. The meeting was adjourned at 10:19pm.

Respectfully submitted,

Nicole DeNeane  
City Clerk



## **PUBLIC HEARING – PRD DOCUMENTS**

**5:00pm, Tuesday, November 1, 2022**

**24 28<sup>th</sup> Avenue, Isle of Palms, SC**

### **MINUTES**

**1. Call to order**

**Present:** Council members Hahn, Bogosian, Anderson, Ward, Streetman, Popson, Miars, Pierce, and Mayor Pounds

**Staff Present:** Administrator Fragoso, Director Kerr, City Attorney Halversen

**2. Public Comments on the following ordinances:**

**A. Ordinance 2022-08 – AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE FOR A NEW CONSERVATION RECREATION DISTRICT**

**B. Ordinance 2022-09 -AN ORDINANCE ADOPTING AMENDMENTS TO THE OFFICIAL ZONING MAP OF THE CITY OF ISLE OF PALMS TO PROVIDE FOR A NEW CONSERVATION-RECREATION (CR) ZONING DISTRICT AND TO REZONE CERTAIN PROPERTIES FROM THE SR-1 AND PDD DISTRICTS TO THE NEW CR ZONING DISTRICT AS SHOWN ON EXHIBIT 1**

**C. Ordinance 2022-10 – AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF ISLE OF PALMS TO REZONE CERTAIN PROPERTIES FROM THE SR-1 SINGLE FAMILY RESIDENTIAL ZONING DISTRICT AND PDD PLANNED DEVELOPMENT ZONING DISTRICT TO THE CR CONSERVATION-RECREATION ZONING DISTRICT, INCLUDING THE 11 PROPERTIES DESIGNATED AS TMS#571-00-00-001, TMS#604-01-00-001, TMS#604-01-00-059, TMS#571-08-00-226, TMS#604-00-00-032, TMS#604-00-00-033, TMS#604-00-00-034, TMS#604-00-00-035, TMS#604-00-00-036, TMS#604-05-00-185, AND TMS#604-10-00-206, AS SHOWN ON THE PLATS ATTACHED AS EXHIBIT 1**

**D. Ordinance 2022-11 – AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, SECTION 5-4-39. PDD PLANNED DEVELOPMENT DISTRICT, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE CLARIFICATION BY CORRECTING SCRIVENER’S ERRORS AND DELETING PROVISIONS RELATED TO THE WILD DUNES PDD**

**E. Ordinance 2022-12 – AN ORDINANCE AMENDING THE CITY OF ISLE OF PALMS ZONING ORDINANCE BY AMENDING CERTAIN PROVISIONS OF THE ORIGINAL BEACH AND RACQUET CLUB PRD (ALSO KNOWN AS THE WILD DUNES PRD) TO EXCLUDE CERTAIN PROPERTIES FROM THE PRD DISTRICT, TO REDUCE THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED IN THE PRD DISTRICT FROM 2,449 UNITS TO 2,119, AND TO REDUCE THE MAXIMUM NUMBER OF INN UNITS PERMITTED IN THE PRD DISTRICT FROM 350 UNITS TO 297 UNITS**

Director Kerr gave a brief overview of the ordinances. The Planning Commission will review the ordinances at their November 9 meeting and may make a recommendation to the City Council at that time.

Tony Santiago said the community needs to avoid a sense of divisiveness on this matter. He mentioned a petition that gathered 721 signatures with addresses in a very short period of time following the last public hearing. He referred to an article he wrote, noting that a 50-year old document (the PRD) should not be guiding the island's development. He said that Wild Dunes can apply for a variance after the ordinances are passed.

Randy Bell said this is a defining moment for City Council. He said the previous public hearing showed how united the residents are on this issue.

Glenda Nemes mentioned a petition signed by hundreds of residents that support the passing of these ordinances. She wants to stop overdevelopment and believes this is a proactive opportunity to protect the island. She asked City Council to vote yes on the ordinances.

Georgia Roane favors the ordinances to restrict any more development. She would like City Council to pass all five ordinances as soon as possible.

Tim Ahmuty, speaking on behalf of the Barrier Island Preservation Association, asked City Council to vote yes on the five ordinances. He also mentioned the petition in support of passing the ordinances and how quickly the signatures were gathered. He wants City Council to vote unanimously in favor of the ordinances and to do so quickly.

Dan Slotchiver expressed concern that no change in zoning will exacerbate the problems that already exist on the island. He, too, would like City Council to vote on this quickly and efficiently.

Elizabeth Campsen said there has been a lot of citizen engagement on this issue and the majority is supportive of passing the ordinances. She said the process this issue has undertaken has not been haphazard and she would like City Council to hold Second Reading as soon as possible.

Penny Portman said this is an issue that the entire community agrees on and it should be passed as proposed. She mentioned concerns about infrastructure, flooding, and residential quality of life, noting how difficult it is to get on and off the island during the season. She would like these ordinances passed at Second Reading.

Doug Truslow is also in favor of passing the ordinances. He said density, tourism, and daytripping were not concerns of the island in the 1970s. He said Wild Dunes was meant to be part of the community. He said City Council should pass the ordinances and then let the developer negotiate with the City.

Carly David said the density of the island had changed since 1975 and the ordinances need to change as well. She said the developers need these ordinances to act as guardrails for their development. She said the company running Wild Dunes has no vested interest in the community. She said the City needs to negotiate from a place of strength. City Council is the voice of the people and the ordinances are the guardrails needed to protect the island.

Jeff Simon said it is unreasonable to think that a document written in 1975 when the island was less populated would be relevant today. The PRD should have been revisited a long time ago to ensure residential quality of life. He said it is City Council's obligation to look at it, change it, and pass the ordinances.

William Connelly addressed the due process that some Council members think Wild Dunes should get in this process. He said that Wild Dunes tore up the tennis courts without any process involving the Wild Dunes community. He said no impact studies, environmental studies, or safety studies were done regarding this change, and Wild Dunes told him that they did not have to do anything like that "based on the PRD." He said he has been "going after" the hotel for what they have done. He said Council needs to step in and say that the PRD is "no longer something that the Wild Dunes Community Association and the hotel can use to the detriment of this island."

Nancy Smith also asked City Council to vote yes on these ordinances. She said the concerns of the community have been well documented. She said the hotel is bigger than it needs to be and has caused many noise concerns. She would like City Council to protect the residents and listen to their concerns.

Laura Lovins read excerpts from an article about Ken Dart. She said the residents do not want more development on the island.

Susan Smith said a lot has changed on the island since 1975 and Council needs to make forward-looking decisions for the island. She mentioned the 2010 decisions of the Council that were intended to limit overdevelopment. She also reminded Council of the goals of the Strategic Plan, which includes being a leader on environmental issues and to be a family-friendly place. She encouraged them to vote in favor of conservation.

Suzi Wheeler also encouraged City Council to pass the ordinances and limit development on the island. She said the citizens are listening and they understand. She does not know of a more unifying topic.

Larry Simon spoke of flooding concerns and would like City Council to pass the ordinances.

Brenda Rosenthal spoke in favor of residential quality of life. She read a quote from a pre-Revolutionary document in Governor McMaster's office that spoke to the natural beauty of South Carolina and said City Council should protect the land by voting yes on all the ordinances.

Bob Ballard said that moving to South Carolina in 2019 was a dream come true for him. He said everyone has a reading to live here and wants City Council to pass the ordinances.

Emily Albrecht read from an article written by Tony Santiago and Vanessa Wolf that was published in *The Island Eye*.

Joe Houdek spoke about his joy in moving here and said this is paradise. He would like City Council to vote yes on the ordinances.

Mayor Pounds thanked everyone for coming and said City Council has heard them "loud and clear." He said the Planning Commission will discuss this at their November 9 meeting and has 30 days to make a recommendation to City Council. He said the City is in a position that currently protects it from any further development. Council Member Hahn added that if no recommendation comes from the Planning Commission in 30 days, the City Council can take that as a "yes" to continue on with the ordinances. He asked the citizens to be patient with the process.

### **3. Adjournment**

Council Member Ward made a motion to adjourn, and Council Member Streetman seconded the motion. The meeting was adjourned at 6:05pm.

Respectfully submitted,

Nicole DeNeane  
City Clerk





**Special Personnel Committee  
2:00pm, Tuesday, November 1, 2022  
1207 Palm Boulevard, Isle of Palms, SC and  
broadcasted live on YouTube: <https://www.youtube.com/user/cityofisleofpalms>**

### **MINUTES**

**1. Call to Order**

Present: Council Members Anderson (via Zoom), Pierce, and Bogosian

Staff Present: Administrator Fragoso, Director Kerr

**2. Purpose**

**Interview Candidates for the position of City Attorney and Assistant City Attorney**

**MOTION: Council Member Bogosian made a motion to move into Executive Session in accordance with South Carolina State Code §30-4-70(a)(1) to interview candidates for the position of City Attorney and Assistant City Attorney. Council Member Pierce seconded the motion. The motion passed unanimously.**

The Committee went into Executive Session at 2:01pm.

The Committee returned from Executive Session at 4:26pm.

**MOTION: Council Member Bogosian made a motion to recommend to City Council that Haynsworth Sinkler Boyd be appointed City Attorney and to reopen the bid process for Assistant City Attorney. Council Member Pierce seconded the motion. The motion passed unanimously.**

**3. Adjournment**

Council Member Pierce made a motion to adjourn, and Council Member Anderson seconded the motion. The motion passed unanimously. The meeting was adjourned at 4:27m.

Respectfully submitted,

Nicole DeNeane  
City Clerk

# City of Isle of Palms

## Consideration of Employee COLA adjustments for 1/1/2023

CPI Increase Sept 22 vs Sept 21

8.2%

### Survey of Recent Pay Adjustments:

|   |       |        |
|---|-------|--------|
| Charleston County   | 1,250 | 1-time |
| North Charleston  | 4,000 | 1-time |
| Goose Creek   | 5.0%  | COLA   |
| Sullivan's Island   | 8.5%  | COLA   |
| City of Charleston (also considering 12% for Public Safety) | 9.0%  | COLA   |
| Folly Beach   | 8.0%  | COLA   |
| Mount Pleasant  | 2.0%  | COLA   |
| Kiawah  | 7.0%  | COLA   |
| Hanahan   | 5.0%  | COLA   |

### 1/1/23 Payroll Adjustment Scenarios for Discussion - Estimated Costs

1. The FY23 Budget includes a 2.5% Merit pool for adjustments effective 1/1/23. This includes 2 steps for Public Safety.

#### 2. Add a 1-time COLA

Cost for 93 budgeted FT employees  
Estimated Fringes @ 31%\*

Less current full-time vacancies (5)  
Total Cost  
Average % increase

| 1-time<br>\$3,000 | 1-time<br>\$5,000 | 1-time<br>\$7,000 |
|-------------------|-------------------|-------------------|
| 279,000           | 465,000           | 651,000           |
| 86,490            | 144,150           | 201,810           |
| 365,490           | 609,150           | 852,810           |
| (15,000)          | (25,000)          | (35,000)          |
| 350,490           | 584,150           | 817,810           |
| 5.4%              | 9.0%              | 12.6%             |

*Note: All cost estimates assume full staffing. Actual costs will likely be less due to position vacancies and turnover that invariably occur.*

#### 3. Add a 2.5% COLA

Payroll  
Estimate Fringes @ 31%\*  
Total Cost

| FY23<br>6 Months | FY24<br>1 Year | FY25<br>1 Year | FY26<br>1 Year | FY27**<br>1 Year | 5-Year Total |
|------------------|----------------|----------------|----------------|------------------|--------------|
| 66,806           | 135,282        | 138,664        | 142,131        | 145,684          | 628,567      |
| 20,710           | 41,937         | 42,986         | 44,061         | 45,162           | 194,856      |
| 87,516           | 177,220        | 181,650        | 186,191        | 190,846          | 823,423      |

#### 4. Add a 3.0% COLA

Payroll  
Estimate Fringes @ 31%\*  
Total Cost

| FY23<br>6 Months | FY24<br>1 Year | FY25<br>1 Year | FY26<br>1 Year | FY27**<br>1 Year | 5-Year Total |
|------------------|----------------|----------------|----------------|------------------|--------------|
| 80,167           | 162,339        | 166,397        | 170,557        | 174,821          | 754,281      |
| 24,852           | 50,325         | 51,583         | 52,873         | 54,194           | 233,827      |
| 105,019          | 212,664        | 217,980        | 223,430        | 229,015          | 988,108      |

#### 5. Add a 5.0% COLA

Payroll  
Estimate Fringes @ 31%\*  
Total Cost

| FY23<br>6 Months | FY24<br>1 Year | FY25<br>1 Year | FY26<br>1 Year | FY27**<br>1 Year | 5-Year Total |
|------------------|----------------|----------------|----------------|------------------|--------------|
| 133,612          | 270,564        | 277,328        | 284,262        | 291,368          | 1,257,134    |
| 41,420           | 83,875         | 85,972         | 88,121         | 90,324           | 389,712      |
| 175,032          | 354,439        | 363,300        | 372,383        | 381,692          | 1,646,846    |

\* Fringes include FICA (7.65%) + Retirement Average (18.5%) + Workers Comp Average (4.8%) = 31%

\*\* Forecasted values for FY24-FY27 include an annual 2.5% merit pool




**DISCLAIMER**

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**CONCEPT DESIGN NOTES**

1. PLAN IS NOT FOR CONSTRUCTION.
2. ALL DIMENSIONS TO BE CONSIDERED APPROXIMATE AND TO BE VERIFIED BY A SURVEYOR.
3. LAYOUT IS TO BE VERIFIED AND REVIEWED BY LOCAL PLANNING OFFICE FOR COMPLIANCE TO ZONING CODE.

[illegible]

CLINE  
ENGINEERING

PROFESSIONAL DESIGN CONSULTING

|                 |  |           |  |   |  |
|-----------------|--|-----------|--|---|--|
| TOP MASTER PLAN |  | SITE PLAN |  | 50 41ST AVENUE<br>ISLE OF PALMS, SOUTH CAROLINA |  |
| PROJECT MANAGER |  |           |  | MDC   |  |
| DRAWN BY        |  |           |  | A.J.R.  |  |
| PROJECT DATE    |  |           |  | AUGUST 2002                                     |  |
| JOB NUMBER      |  |           |  | 2004T   |  |
| SHEET NUMBER    |  |           |  |   |  |
| C               |  |           |  |   |  |

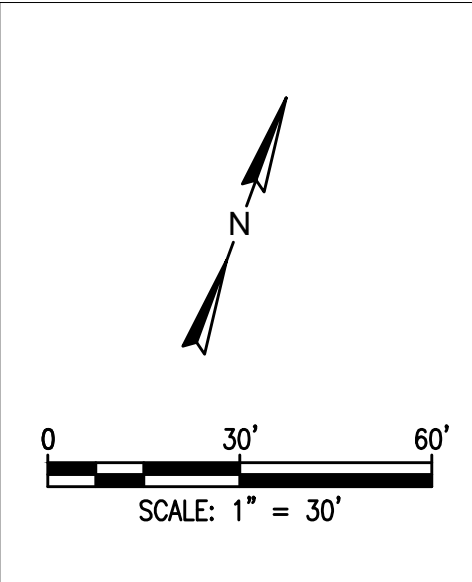


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NOT FOR  
CONSTRUCTION

[illegible]



REPORT DATE: 11/02/2022 2:15:24 PM  
FILE LOCATION: Y:\002\322047\_4C\000001\Y69\0001\CTION 09\AMWS\500\_0012

CITY/PUBLIC/RESIDENT PARKING LOT

DUMPSTER PAD WITH ENCLOSURE FOR  
RESTAURANT USE AFTER DITCH IS PIPED

FUTURE  
CITY PARKING  
(AFTER DITCH  
IS PIPED)

41ST AVENUE

DUMPSTER PAD WITH  
ENCLOSURE FOR MARINA USE

PARKING TRANSITION INTO 20' BUFFER-

PROPOSED LEASE LINE

6' BOARDWALK BEHIND SEA WALL CAP

APPROXIMATE LOCATION OF  
RESTAURANT LOADING AREA

- ADA SIGN (TYP)

— ADA SIGN (TYPE


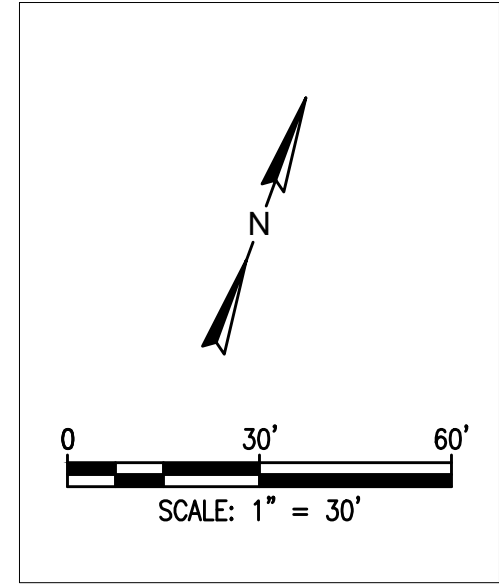
FENCE FOR ENCLOSURE OF WATER  
METERS AND BACKFLOW DEVICES

### RETAINING WALL DESIGN BY OTHERS FOR BLOCKING HEADLIGHTS

10'X10' TRANSFORMER PAD

GOLF CART PARKING

NOT FOR  
CONSTRUCTION



CLINE  
ENGINEERING  
PROFESSIONAL DESIGN CONSULTING

50 41ST AVENUE  
ISLE OF PALMS, SOUTH CAROLINA

|                 |             |
|-----------------|-------------|
| PROJECT MANAGER | MDC         |
| DRAWN BY        | AJJR        |
| PROJECT DATE    | AUGUST 2022 |
| JOB NUMBER      | 22047       |
| SHEET NUMBER    |             |

# G





Desirée Fragoso  
City Administrator  
City of Isle of Palms, SC  
1207 Palm Boulevard  
Isle of Palms, SC 29451

October 31, 2022

Re: **Islander 71 – Rooftop ADA Access**  
Isle of Palms, South Carolina

Dear Desirée,

Thank you for reaching out to inquire about how best to accomplish the rooftop ADA access at Islander 71. After our visits and discussions on site we feel the best method for providing access is to install a commercial grade limited use/limited application elevator (LULA). In order to preserve views and to minimize the impacts to the restaurant we believe the elevator should be installed to the right of the main entrance.

The estimated cost to install the LULA, including the design and construction of the weatherproof hoistway/shaft on the exterior of the building, is in the range of \$300K to \$350K. Please see attached estimate, preliminary schedule, and drawings for what we would envision being installed.

The LULA appears to be the best option for the following reasons:

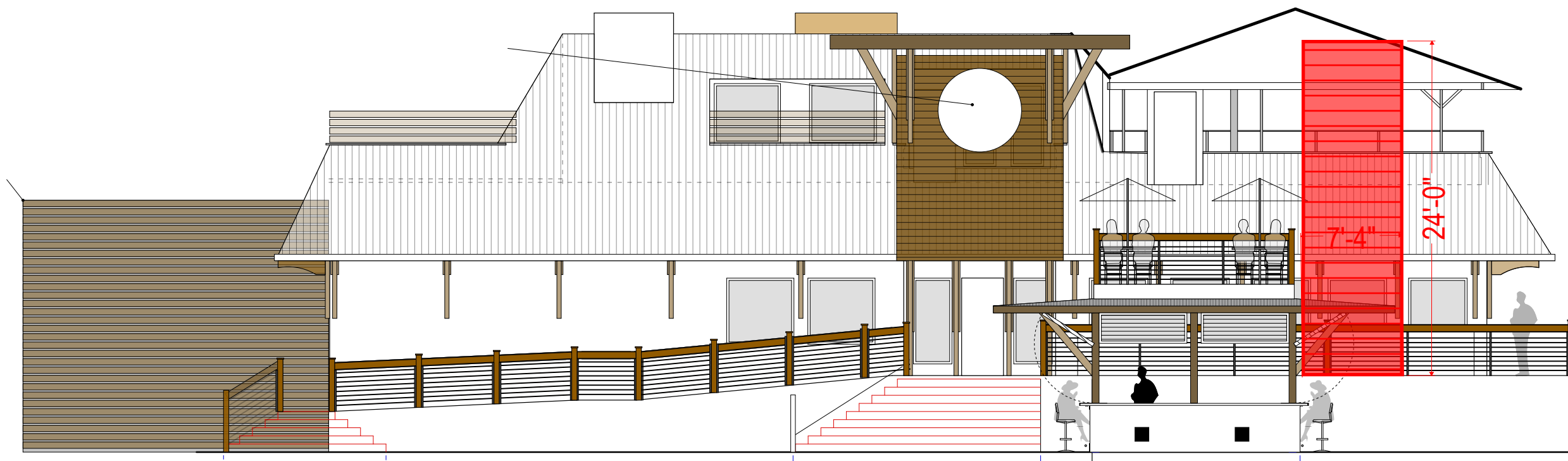
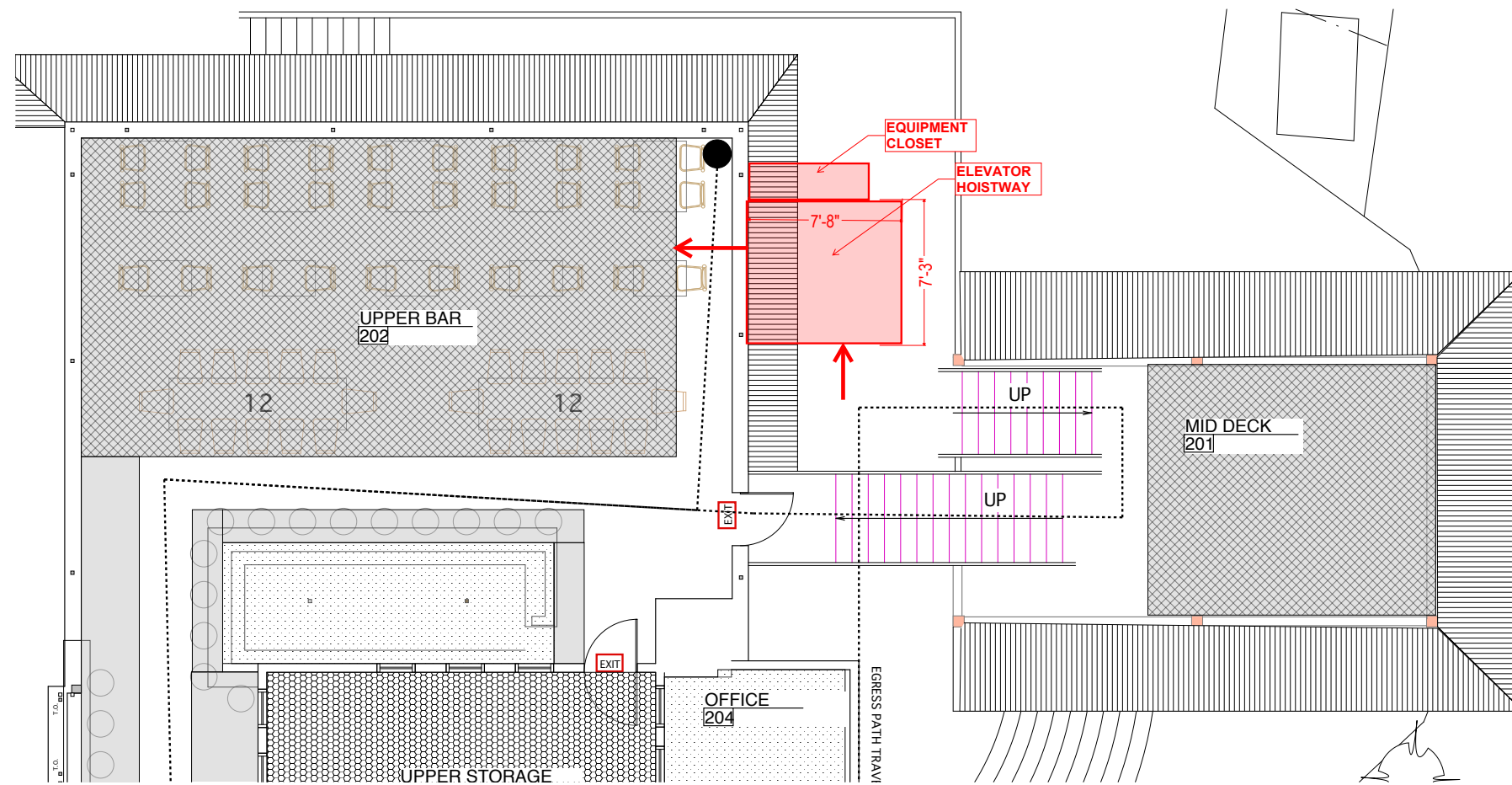
- No room exists on the interior of the building to accommodate the space needed for either an elevator or wheelchair lift
- Due to the travel distance from floor to floor a wheelchair lift isn't feasible due to the limitations of the wheelchair lifts that are available to the market
- Adding a wheelchair lift, similar to what you may see in a residence, that travels up and down stairs, is not allowed by the International Building Code. You could utilize a commercial grade stair lift but that would require substantial renovations to the existing stairs and would encroach on very valuable floor space and reduce restaurant income. Please also note that due to the harsh salt air environment a lift in this application would also be costly to maintain and keep operational.

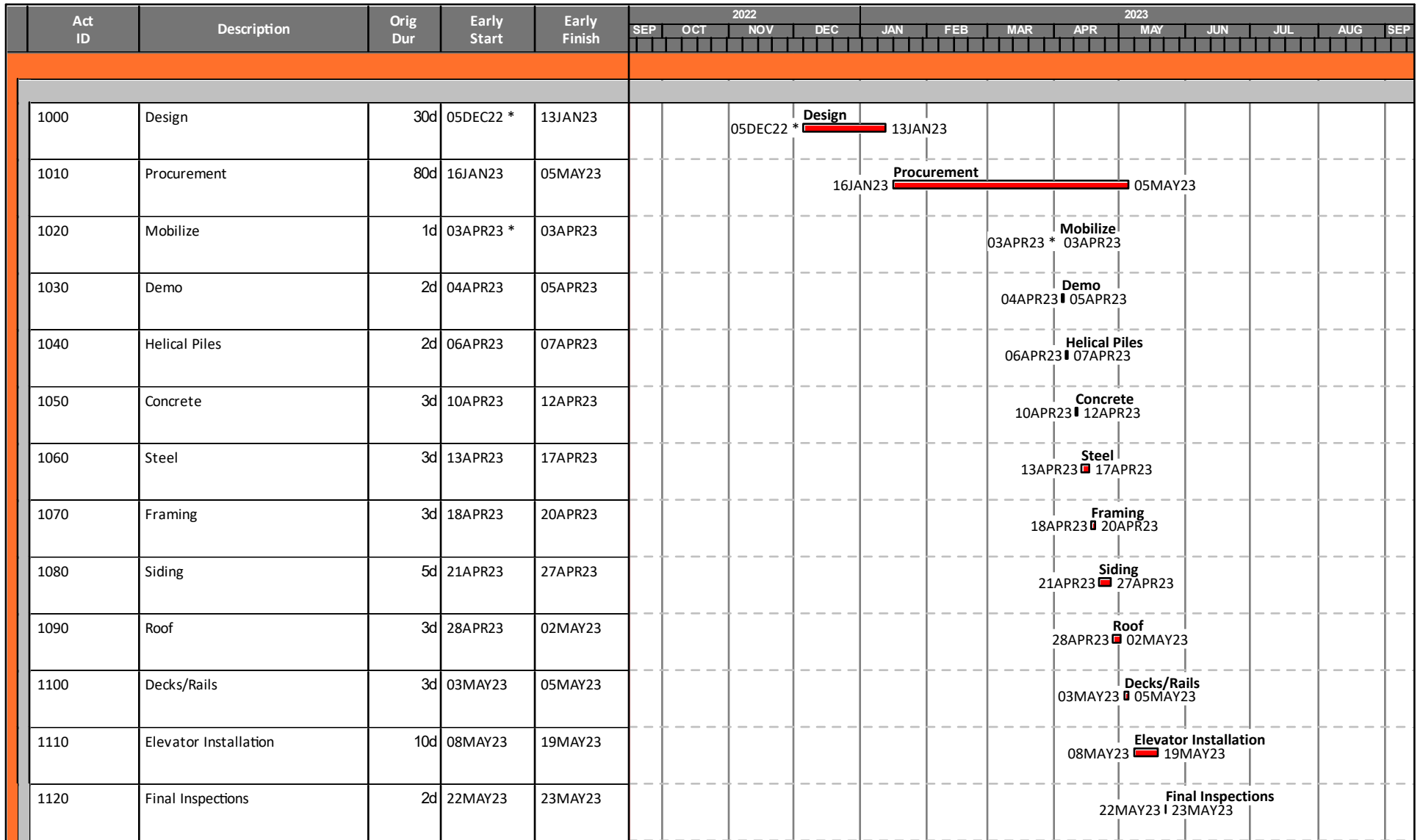
Thank you so much for the opportunity to assist. Please don't hesitate to reach out should you have any questions or any additional information.

Respectfully,

**TRIDENT CONSTRUCTION**

Chris Burrell  
Senior Project Manager







| Item        | Description                          | Takeoff Qty | Total         |  |
|-------------|--------------------------------------|-------------|---------------|--|
|             |                                      |             | Amount        |  |
|             | CONC. FOUND/SLAB                     |             | 18,540        |  |
|             | <b>CONCRETE</b>                      |             | <b>18,540</b> |  |
| <b>5000</b> | <b>STEEL</b>                         |             |               |  |
| <b>5500</b> | Miscellaneous Metals                 |             |               |  |
| ----        | Steel                                | 2.00 tons   | 20,831        |  |
|             | Miscellaneous Metals                 |             | 20,831        |  |
|             | <b>STEEL</b>                         |             | <b>20,831</b> |  |
| <b>6000</b> | <b>WOOD &amp; PLASTICS</b>           |             |               |  |
| <b>6100</b> | Rough Carpentry                      |             |               |  |
| ----        | Framing                              | 1.00 LS     | 15,299        |  |
|             | Rough Carpentry                      |             | 15,299        |  |
|             | <b>WOOD &amp; PLASTICS</b>           |             | <b>15,299</b> |  |
| <b>7000</b> | <b>THERMAL &amp; MOISTURE PROTCT</b> |             |               |  |
| <b>7460</b> | Siding                               |             |               |  |
| ----        | Fiber Cement Siding                  | 768.00 SF   | 11,999        |  |
|             | Siding                               |             | 11,999        |  |
| <b>7467</b> | Metal Siding                         |             |               |  |
| ----        | Metal Roof                           | 100.00 SF   | 2,604         |  |
|             | Metal Siding                         |             | 2,604         |  |
|             | <b>THERMAL &amp; MOISTURE PROTCT</b> |             | <b>14,603</b> |  |
| <b>8000</b> | <b>DOORS &amp; WINDOWS</b>           |             |               |  |
| <b>8100</b> | Doors, Frames & Hardware             |             |               |  |
| ----        | Doors/Hardware                       | 2.00 EA     | 4,391         |  |
|             | Doors, Frames & Hardware             |             | 4,391         |  |
|             | <b>DOORS &amp; WINDOWS</b>           |             | <b>4,391</b>  |  |
| <b>9000</b> | <b>FINISHES</b>                      |             |               |  |
| <b>9910</b> | Exterior Painting                    |             |               |  |
| ----        | Exterior Painting                    | 768.00 SF   | 2,500         |  |
|             | Exterior Painting                    |             | 2,500         |  |
|             | <b>FINISHES</b>                      |             | <b>2,500</b>  |  |

| Item         | Description                     | Takeoff Qty | Total  |               |
|--------------|---------------------------------|-------------|--------|---------------|
|              |                                 |             | Amount |               |
| <b>14000</b> | <b>CONVEYING SYSTEM</b>         |             |        |               |
| <b>14200</b> | <b>Elevators</b>                |             |        |               |
| ----         | LULA Elevator                   | 1.00 LS     |        | 78,066        |
|              | <b>Elevators</b>                |             |        | <b>78,066</b> |
|              | <b>CONVEYING SYSTEM</b>         |             |        | <b>78,066</b> |
| <b>16000</b> | <b>DIVISION 16 - Electrical</b> |             |        |               |
| <b>16001</b> | <b>Electrical</b>               |             |        |               |
| ----         | Electrical                      | 1.00 LS     |        | 14,061        |
|              | <b>Electrical</b>               |             |        | <b>14,061</b> |
|              | <b>DIVISION 16 - Electrical</b> |             |        | <b>14,061</b> |

## Estimate Totals

| Description              | Amount         | Totals         |
|--------------------------|----------------|----------------|
| Labor                    | 12,365         |                |
| Material                 | 3,484          |                |
| Subcontract              | 178,169        |                |
| Equipment                | 2,053          |                |
| Other                    | 76,975         |                |
|                          | <b>273,046</b> | <b>273,046</b> |
| Building Permt           | 1,145          |                |
| Business License.        | 1,011          |                |
| Plan Review Fees         | 573            |                |
| Builders Risk (by owner) |                |                |
|                          | <b>2,729</b>   | <b>275,775</b> |
| GC Overhead & Fee        | <b>22,062</b>  |                |
|                          | <b>22,062</b>  | <b>297,837</b> |
| Escalation               | 14,892         |                |
| Construction Contingency | 15,636         |                |
| <b>Total</b>             |                | <b>328,365</b> |



## COASTAL ELEVATORS & LIFTS, LLC

P.O.Box 734  
Johns Island, SC 29457

10/31/2022

Telephone 843-557-0106  
Fax 843-557-0108

-----  
PROPOSAL SUBMITTED TO  
-----

Trident Construction

Ref: Islander 71  
-----

WE HEREBY PROPOSE TO FURNISH ALL THE MATERIALS AND PERFORM ALL  
THE LABOR NECESSARY FOR THE COMPLETION OF:

Furnish and install one elevator as listed below:

- A. Commercial application
- B. Two stop operation
- C. 1500# capacity
- D. Hydraulic
- E. Travel up to 200"
- F. 7' cab with gate track raised to accommodate  $\frac{3}{4}$ " flooring  
(supplied/installed by others)
- G. Adjacent opening on cab
- H. Stainless steel cab
- I. Unfinished sub floor
- J. Standard COP and hall stations, brushed stainless
- K. Automatic sliding cab and landing doors(stainless)
- L. Pit depth 24"
- M. Homing feature
- N. Telephone jack inside cab
- O. Three year warranty on all parts and one year labor

All shaft construction, doors\* **(please see code below)**,  
doorknobs, weather-stripping, sheetrock, painting, threshold  
trimming, 2-2x12 support rails, **electrical circuits** and pit  
furnished by others.

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED, AND THE ABOVE WORK TO BE PERFORMED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS SUBMITTED FOR ABOVE WORK IN A SUBSTANTIAL WORKMANLIKE MANNER FOR THE SUM OF: **(\$74,950.00)**

WITH PAYMENT TO BE MADE AS FOLLOW:

**60% deposit to order unit**  
25% within 20 days of installation  
15% within 20 days of completion

---

ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS, WILL BE EXECUTED ONLY UPON WRITTEN ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE UPON ABOVE WORK. WORKMEN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE ON ABOVE WORK TO BE TAKEN OUT BY COASTAL ELEVATORS & LIFTS, LLC.

PER Allison Williams

NOTE--WE MAY WITHDRAW THIS PROPOSAL IF NOT ACCEPTED WITHIN 30 DAYS.

**Please note our web page at: [www.coastalelevators.com](http://www.coastalelevators.com)**

**\* ASME A17.1-2016**

**Note 1 Rule 5.3.1.7.2**

The clearance between the landing door (closed position) and the hoistway edge of the landing sill (flooring). The distance between the hoistway face of the landing door (closed position) and the edge of the landing sill shall not exceed  $\frac{3}{4}$ ".

**Note 2 Rule 5.3.1.8.3**

The clearance between the landing door (closed position) and the car doors or gates. Must reject 4" diameter ball at all points when hoistway door and car door are in fully closed position.

Please refer to this code when planning your hoistway door locations.

Final payment is due 20 days after services are completed. Any unpaid balance will earn interest at the rate of 1 ½% per month. In the event an unpaid account is turned over to an attorney or collection agency, the customer/client agrees to pay all fees and costs incurred.

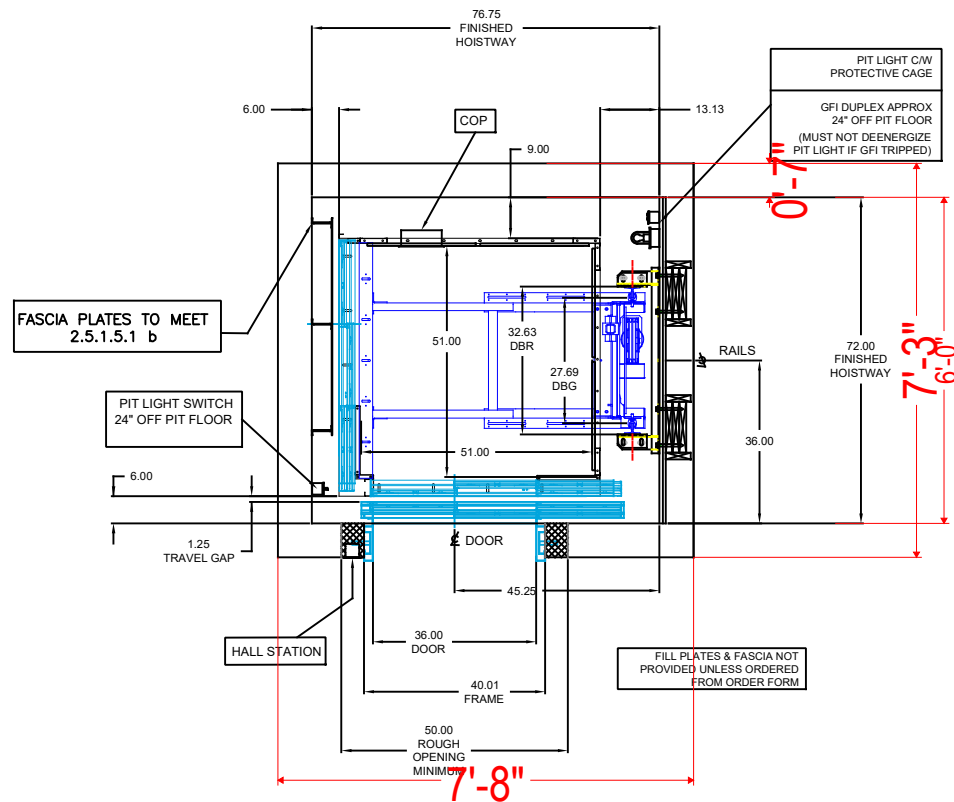
## HYDRAULIC ELEVATOR DATA

|                               |   |
|-------------------------------|---|
| TYPE                          | LU/LA   |
| CLASSIFICATION                | 1:2 ROPED   |
| CAPACITY                      | 635 kg (1400 lbs)   |
| GROSSLOAD                     | 1433 kg (3156 lbs)  |
| HOISTWAY NEMA CONDITION       | NEMA-1  |
| MACHINE ROOM NEMA CONDITION   | NEMA-1  |
| SEISMIC ZONE                  | N/A   |
| ELEVATOR SPEED                | 0.15 m/s 30fpm  |
| LEVELING TYPE                 | TAPE READER   |
| CONTROLLER                    | VIRGINIA CONTROLS<br>PLC/RELAY  |
| EMERGENCY LOWER               | BATTERY BACK-UP AND MANUAL VALVE  |
| LIMIT SWITCHES                | TOP/BOTTOM/HOISTWAY ACCESS  |
| CYLINDER LENGTH               | TO BE UPDATED ON FINAL DRAWINGS   |
| NUMBER OF STOPS               | 2   |
| CAB DESIGN                    | 90 DEGREE   |
| POWER SUPPLY                  | 220V 1-PHASE/3W/4W  |
| CAB HEIGHT                    | 84" STANDARD  |
| LANDING ENTRANCE FINISH       | STEELLESS STEEL   |
| CAB DOOR FINISH               | STEELLESS STEEL   |
| CAB FRAME REVEALS             | STEELLESS STEEL   |
| CAB CEILING FINISH            | STEELLESS STEEL   |
| RAISED WALL FINISH            | STEELLESS STEEL   |
| HALL STATIONS                 | WEISS WITH DPI  |
| FIXTURES AND HANDRAIL FINISH  | STAINLESS STEEL #8  |
| MISCELLANEOUS                 |   |
| FIREFIGHTERS PHASE I SERVICE  | N/A   |
| FIREFIGHTERS PHASE II SERVICE | REQUIRED  |
| LANDING LABELS                | T&D   |
| MAIN EGRESS LANDING           | T&D   |
| SPECIAL ITEMS                 |   |
| LIGHTS                        | 4 LED STAINLESS BRUSHED #4  |
| MAX. RAIL BRACKET SPACING     | 70" (1800MM)  |
| CAR RAILS                     | 12kg/m (8lbs/ft)  |
| TRAVEL CABLE LENGTH           | TBD   |
| BUILDING EMERGENCY POWER      | N/A   |
| CROSSHEAD                     | FORMED 3/16" HRS w/ GUSSETS bc: 14.68in <sup>3</sup> Sx: 3.34 in <sup>3</sup> |
| UPRIGHT                       | FORMED 10 ga HRS bc: .91 in <sup>3</sup> Sx: 2.32 in <sup>3</sup>             |
| PLANK CHANNEL                 | FORMED 10 ga & 1/4" PLATE bc: 9.09 in <sup>3</sup> Sx: 2.89 in <sup>3</sup>   |
| PLANK EXTENSION               | 2" x 4" x 1/8" HR Rect. HSS bc: 2.82 in <sup>3</sup> Sx: 1.41 in <sup>3</sup> |
| SHACKLE ATTACH PLATE          | FORMED 3/16" w/ 1/4" PLATE  |
| PLATFORM TYPE                 | WELDED FRAME WITH 14 ga HR TOP PLATE  |
| FRONT MEMBER                  | 3/8" x 1-1/2" HR FB   |
| REAR MEMBER                   | 1-1/2" x 2" x 1/4" HR L   |
| SIDES MEMBERS (QTY: 2)        | 1-1/2" x 2" x 1/4" HR L   |
| JOISTS MEMBERS (QTY: 4)       | 1-1/2" SQ X .065" ERW TUBE  |
| SILL REVEAL HEIGHT            | 5/8"  |
| CAB INSIDE AREA               | 17.5 sq ft  |
| TOE GUARD                     | LOW PIT   |
| SILL TYPE                     | VICTORY DOOR ALUMINUM   |
| CAB WEIGHT                    | 528 kg (1160 lbs)   |
| CAR SLING WEIGHT              | 143 kg (316 lbs)  |
| PLUNGER WEIGHT                | 60 kg (132 lbs)   |
| PUMP UNIT (W/OUT OIL)         | 68 kg (150 lbs)   |
| TRAVELING CABLE               | 1.27kg/m (.85lbs/ft)  |
| SHEAVE WEIGHT                 | 25kg (56 lbs)   |
| CYLINDER DIAMETER             | 114.3 mm (4.5")   |
| CYLINDER WALL THICKNESS       | 4.0 mm (.157")  |
| PLUNGER DIAMETER              | 90 mm (3.54")   |
| PLUNGER WALL THICKNESS        | 7.5 mm (.295")  |
| PIPING IN HOISTWAY/ THRU WALL | SCHED 80 ASTM A106/ASME SA106 Class B 3/4"                                    |
| HOSE IN MACHINE ROOM          | Parflex 302/301-8 WP 28.0 MPa 4000psi ISCI436-1/2SN/SAE 100R2                 |
| WORKING PRESSURE              | 4.27 MPa (620 psi)  |
| MOTOR                         | 5HP   |
| VALVE                         | BLAIN EV100   |

FILL PLATES NOT PROVIDED  
UNLESS ORDERED FROM ORDER FORM

A 50" wide X 92" high ROUGH OPENING IS REQUIRED AT THE  
CENTERLINE AS SHOWN ON LAYOUT FOR LANDING DOOR FRAMES.  
GENERAL CONTRACTOR TO FILL IN AROUND DOOR FRAMES AFTER  
FRAMES HAVE BEEN INSTALLED BY CEI

## 1ST FLOOR LAYOUT SHOWN



THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION  
THAT YOU THE DEALER PROVIDED ON THIS PRODUCT'S ORDER FORM.  
THIS INFORMATION IS YOUR RESPONSIBILITY AND IS THE BASIS  
FROM WHICH THIS CUSTOM APPLICATION DESIGN IS DERIVED.  
PLEASE INDICATE YOUR REQUESTED ACTION BY CHECKING ONE OF THE  
FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE  
COMPLETION OF THIS ORDER.

☐ APPROVED WITH NO EXCEPTIONS  
MANUFACTURE THIS PRODUCT PER INFORMATION DEPICTED ON THIS DRAWING  
NO REAPPROVAL REQUIRED

☐ APPROVED AS NOTED  
MAKE CHANGES AS NOTED BEFORE MANUFACTURE

☐ CHANGES AND REAPPROVAL ARE REQUIRED  
DO NOT MANUFACTURE THIS PRODUCT UNTIL CHANGES AS SHOWN ON DRAWING ARE CORRECTED  
SEND CORRECTED DRAWINGS FOR REAPPROVAL PRIOR TO MANUFACTURE

☐ REVISED DRAWINGS REQUIRED

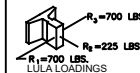
SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

CAMBRIDGE ELEVATING INC. RESERVES THE RIGHT TO ALTER  
DRAWINGS WITHOUT NOTICE.

☒ CAMBRIDGE ELEVATING INC. IS NOT RESPONSIBLE FOR THE  
STRUCTURAL DESIGN OF THE BUILDING AND ITS ABILITY  
TO SUPPORT THE ELEVATOR LOADS AND/OR REACTIONS.

☒ THIS LULA ELEVATOR CONFORMS TO:  
ASME A17.1-2016, PART 5, SEC 5.2, LULA ELEVATOR.



CAMBRIDGE  
ELEVATING INC.

181 SHEARSON CRESCENT  
CAMBRIDGE ONTARIO  
N1T 1J3

PROJECT: ISLANDER 71

LOCATION:

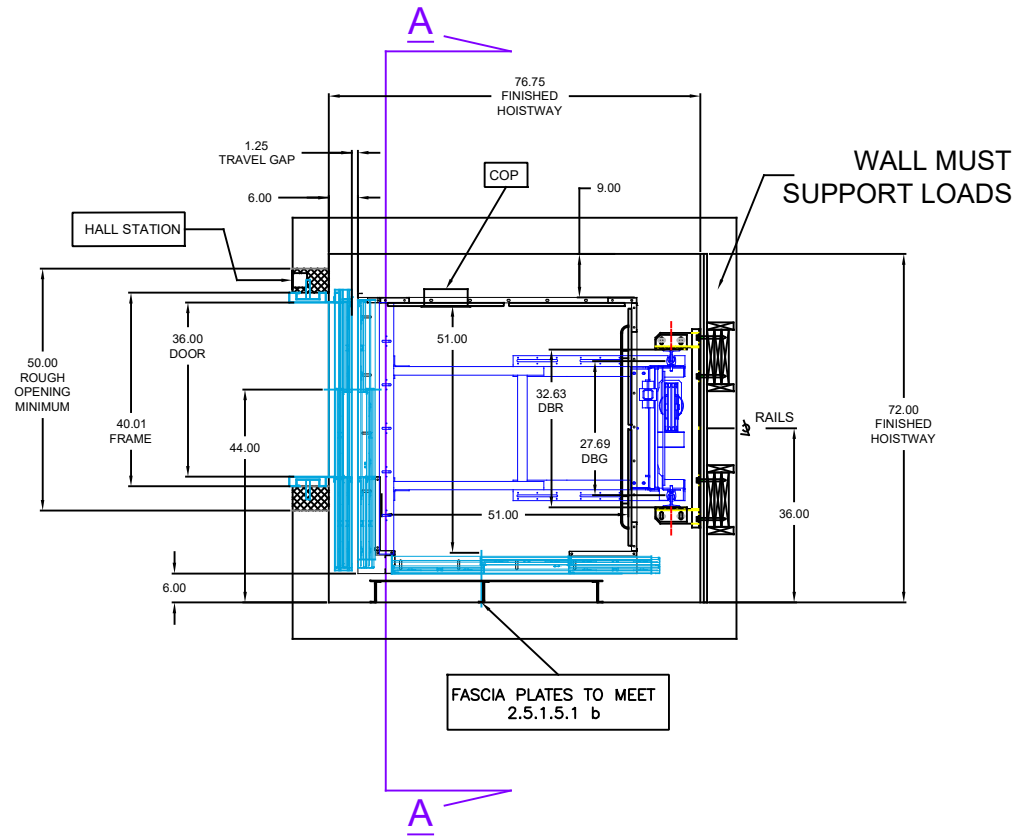
CONTRACTOR: COASTAL ELEVATORS

DATE: 21SEP2022

REV A

# 2ND FLOOR LAYOUT SHOWN

| REVISIONS |                   |          |
|-----------|-------------------|----------|
| REV       | DESCRIPTION       | DATE     |
| A         | ORIGINAL DRAWINGS | 21SEPT22 |
|           |                   |          |
|           |                   |          |



SECTION A-A  
SEE SHEET 3

**CAMBRIDGE**  
ELEVATING INC.

181 SHEARSON CRESCENT  
CAMBRIDGE ONTARIO  
N1T 1J3

PROJECT: ISLANDER 71

LOCATION: JOB ADDRESS

CONTRACTOR: COASTAL ELEVATORS

DWG BY: NB DWG NO. 2022XXXX-01

SCALE NTS 21SEPT2022 REV A

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION THAT YOU THE DEALER PROVIDED ON THIS PRODUCT'S ORDER FORM. THIS INFORMATION IS YOUR RESPONSIBILITY AND IS THE BASIS FROM WHICH THIS CUSTOM APPLICATION DESIGN IS DERIVED. PLEASE INDICATE YOUR REQUESTED ACTION BY CHECKING ONE OF THE FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE COMPLETION OF THIS ORDER

☐ APPROVED WITH NO EXCEPTIONS  
MANUFACTURE THIS PRODUCT PER INFORMATION DEPICTED ON THIS DRAWING

☐ APPROVED AS NOTED  
MAKE CHANGES AS NOTED BEFORE MANUFACTURE  
NO REAPPROVAL REQUIRED

☐ CHANGES AND REAPPROVAL ARE REQUIRED  
DO NOT MANUFACTURE THIS PRODUCT UNTIL CHANGES AS SHOWN ON DRAWING ARE CORRECTED  
SEND CORRECTED DRAWINGS FOR REAPPROVAL PRIOR TO MANUFACTURE

☐ REVISED DRAWINGS REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

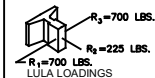
FILL PLATES NOT PROVIDED  
UNLESS ORDERED FROM ORDER FROM

A 50" wide X 92" high ROUGH OPENING IS REQUIRED AT THE CENTERLINE AS SHOWN ON LAYOUT FOR LANDING DOOR FRAMES. GENERAL CONTRACTOR TO FILL IN AROUND DOOR FRAMES AFTER FRAMES HAVE BEEN INSTALLED BY CEI

CAMBRIDGE ELEVATING INC. RESERVES THE RIGHT TO ALTER DRAWINGS WITHOUT NOTICE.

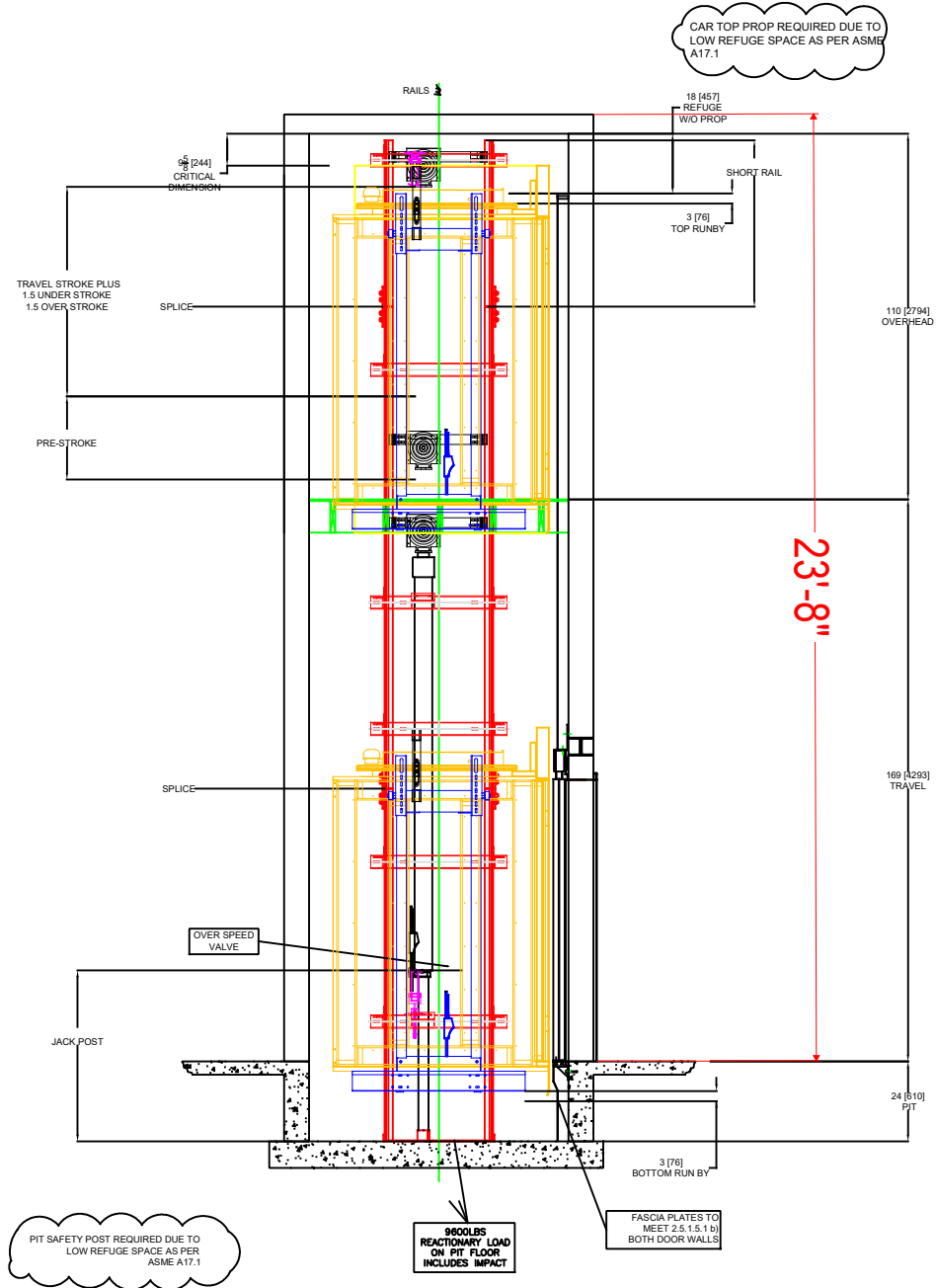
☒ CAMBRIDGE ELEVATING INC. IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE BUILDING AND ITS ABILITY TO SUPPORT THE ELEVATOR LOADS AND/OR REACTIONS.

☒ THIS LULA ELEVATOR CONFORMS TO:  
ASME A17.1-2016, PART 5, SEC 5.2, LULA ELEVATOR.



SECTION A-A

| REVISIONS |                  |         |
|-----------|------------------|---------|
| REV       | DESCRIPTION      | DATE    |
| A         | ORIGINAL DRAWING | 21SEP22 |
|           |                  |         |
|           |                  |         |



CAMBRIDGE  
ELEVATING INC.

181 SHEARSON CRESCENT  
CAMBRIDGE ONTARIO  
N1T 1J3

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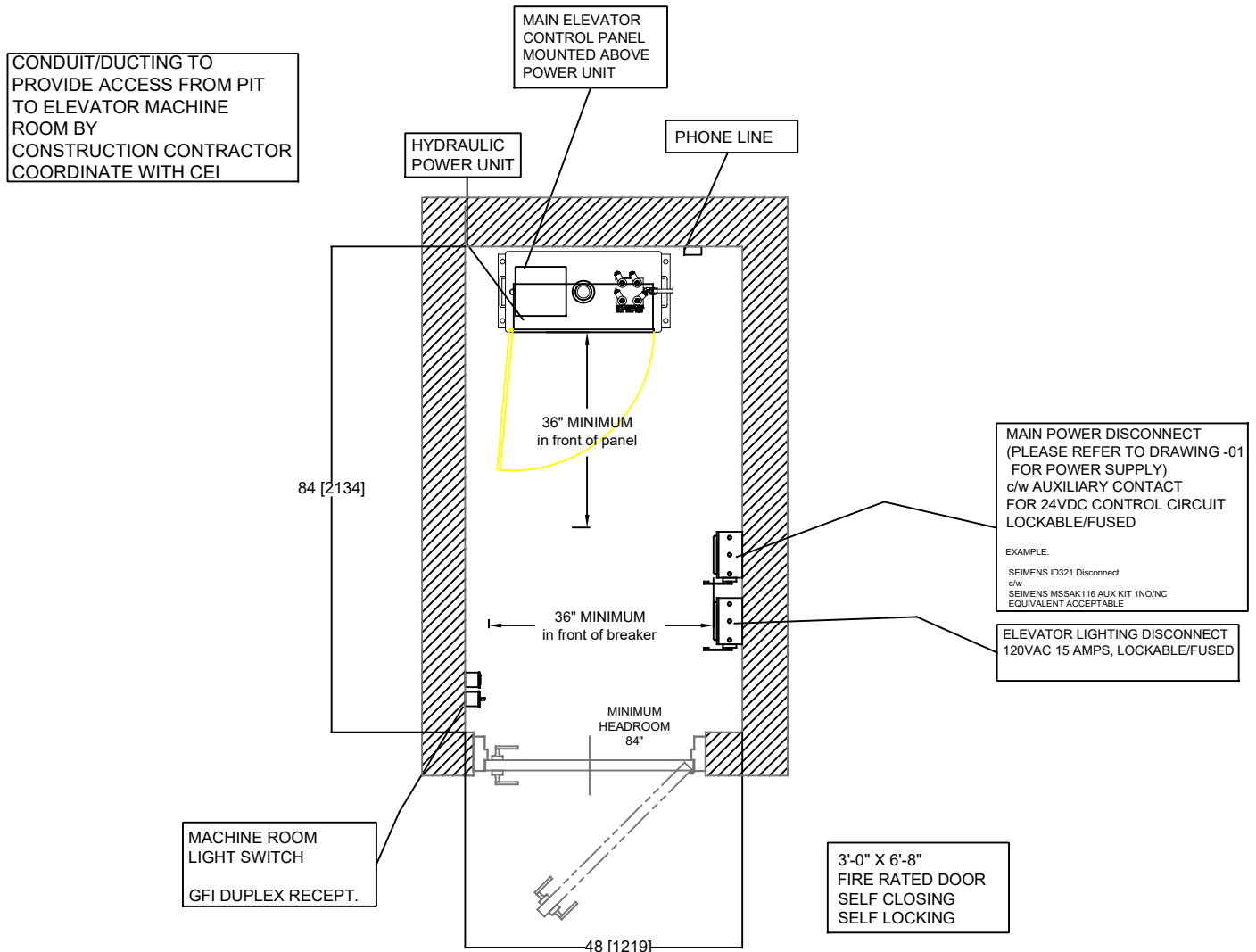
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STRUCTURAL DESIGN OF THE BUILDING AND ITS ABILITY  
TO SUPPORT THE ELEVATOR LOADS AND/OR REACTIONS.  
☒ THIS LULA ELEVATOR CONFORMS TO:  
ASME A17.1-2014, PART 5, SEC 5.5, LULA ELEVATOR.



|             |                   |
|-------------|-------------------|
| PAGES:      | ISLANDER 71       |
| LOCATION:   | JOB ADDRESS       |
| CONTRACTOR: | COASTAL ELEVATORS |
| DATE:       | 2022XXXX-01       |
| REV:        | 21SEP2022         |
| REV A       |                   |



# MACHINE ROOM LAYOUT (TYPICAL)



## GENERAL CONTRACTOR TO PROVIDE:

A MACHINE ROOM BUILT TO CONFORM TO THE LAYOUT DRAWINGS, AND LOCAL CODE REQUIREMENTS. IT SHALL HAVE SUITABLE ACCESS, A SELF CLOSING / SELF LOCKING DOOR, A CONVENIENCE OUTLET, LIGHTING AND LIGHT SWITCH.

MACHINE ROOM TEMPERATURE MUST BE MAINTAINED BETWEEN 50 AND 95 DEGREES FAHRENHEIT. RELATIVE HUMIDITY NOT TO EXCEED 95%. PASSIVE VENTILATION OR HVAC MAY BE REQUIRED. ALL VENTING MUST COMPLY WITH FIRE REGULATIONS, i.e. FUSIBLE LINK DAMPERS/DOOR VENTS

A POWER SUPPLY AS SPECIFIED ON LAYOUT DRAWING "-01", (5HP) SERVICE, TO A LOCKABLE SAFETY DISCONNECT SWITCH FUSED WITH TIME DELAY FUSES AND AUXILIARY CONTACT SHALL BE FURNISHED IN THE MACHINE ROOM TYPICAL DISCONNECT PART No. SEIMENS ID361 C/W SEIMENS MSSAK116 AUX KIT 1NO/NC CONTACTS OR EQUIV.

A 120VAC, SINGLE PHASE, 15 AMP SERVICE TO A LOCKABLE, FUSED, DISCONNECT SWITCH OR CIRCUIT BREAKER LOCATED IN THE MACHINE ROOM SHALL BE PROVIDED FOR THE CAB LIGHTING IN ACCORDANCE WITH N.E.C..

A SEPARATE (DEDICATED) TELEPHONE LINE TO THE MACHINE ROOM AND TIED INTO THE ELEVATOR CONTROLLER PHONE LINE MUST BE MONITORED 24HRS/7 DAYS PER WEEK BY LIVE, AUTHORIZED RESPONDER

MACHINE ROOM AND HOISTWAY CANNOT CONTAIN ANY MACHINERY, CONTROL PANELS, DUCTING, WIRING OR PIPING THAT IS NOT DIRECTLY INVOLVED WITH THE ELEVATOR

MACHINE ROOM TO BE CONSTRUCTED IN ACCORDANCE WITH ASME A17.1 SECTION 5.2 ELEVATOR CODE, LOCAL ELECTRICAL CODE AND ALL LOCAL BUILDING AND FIRE CODES

**CAMBRIDGE**  
ELEVATING INC.

181 SHEARSON CRESCENT  
CAMBRIDGE ONTARIO  
N1T 1J3

PROJECT: ISLANDER 71

LOCATION: JOB ADDRESS

CONTRACTOR: COASTAL ELEVATORS

DRN BY:  
NB

DRN NO.

2022XXXX-04

SCALE NTS

21SEPT2022

REV A

## PROVISIONS / WORK BY OTHERS.

- 1) FINISHED HOISTWAY PLUMB WITHIN 1/2 INCH FROM TOP TO BOTTOM, AND CONFORMING TO THE DIMENSIONS INDICATED ON THE LAYOUT DRAWINGS PROVIDED. ALL WALLS AND SIDE MEMBERS MUST BE SQUARE AND EXTEND FROM PIT FLOOR TO THE CEILING OF THE SHAFT. INSIDE SURFACE OF THE HOISTWAY MUST BE FLUSH. INTERIOR OF HOISTWAY AND DOORS SHOULD BE FINISHED PRIOR TO THE INSTALLATION OF THE LIFT. HOISTWAY MUST BE CONSTRUCTED IN ACCORDANCE WITH ASME A17.1-(SEE LAYOUT DRAWING "-01" FOR CODE YEAR) AND ALL PROVINCIAL AND LOCAL BUILDING CODE REQUIREMENTS
- 2) ADEQUATE SUPPORTS SHALL BE PROVIDED FOR FASTENING RAIL BRACKETS AS INDICATED ON THE LAYOUT DRAWINGS. SUPPORTS MUST WITHSTAND RAIL FORCES INDICATED. THE ELEVATOR CONTRACTOR IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE BUILDING AND ITS ABILITY TO SUPPORT THE ELEVATOR LOADS AND/OR REACTIONS.
- 3) WHERE WOOD FRAME CONSTRUCTION IS USED, REFER TO RAIL LOAD DRAWING AND CONSULT BUILDING PROJECT ARCHITECT/ENGINEER TO DESIGN RAIL SUPPORT WALL.
- 4) FOR MASONARY WALLS, INSERTS SHALL BE PROVIDED BY THE ELEVATOR CONTRACTOR AND INSTALLED BY THE GENERAL CONTRACTOR.
- 5) TOTAL TRAVEL DISTANCE FROM FINISHED BOTTOM FLOOR TO FINISHED TOP FLOOR MUST BE HELD WITHIN 1" OF THAT SHOWN ON THE LAYOUT DRAWINGS.
- 6) OVERHEAD CLEARANCE: (TOP FLOOR TO UNDERSIDE OF HOISTWAY CEILING OR OBSTRUCTION) TO BE MAINTAINED PER THE LAYOUT DRAWINGS. IF ANY OF THE SHAFTWAY DIMENSIONS CANNOT BE ACHIEVED, CONTACT THE FACTORY FOR ALTERNATE ARRANGEMENTS.
- 7) A POURED PIT CONFORMING TO THE DIMENSIONS INDICATED ON THE LAYOUT DRAWINGS MUST BE PROVIDED. THE PIT MUST BE DESIGNED FOR THE IMPACT LOAD INDICATED AND MUST BE DRY AND LEVEL FROM WALL TO WALL.
- 8) A SUMP PUMP IS NOT NECESSARY UNLESS REQUIRED BY SITE CONDITIONS OR LOCAL BUILDING CODE (OR POINT 9). IF A SUMP PUMP IS REQUIRED, COORDINATE LOCATION WITH THE ELEVATOR CONTRACTOR
- 9) A SPRINKLER IS NOT REQUIRED BY ELEVATOR CODE. A SPRINKLER IS NOT DESIRED BY CAMBRIDGE ELEVATING. IF A SPRINKLER IS INSTALLED IN THE HOISTWAY A DRAIN OR SUMP MUST BE SUPPLIED. ENVIRONMENTAL ISSUES MAY APPLY DUE TO OIL SEPARATION REQUIREMENTS WHICH ARE THE RESPONSIBILITY OF THE BUILDING GENERAL CONTRACTOR. CONSULT LOCAL BUILDING DEPARTMENT
- 10) A PIT LIGHT WITH PROTECTIVE CAGE, LIGHT SWITCH AND DUPLEX GFI RECEPTACLE ARE TO BE INSTALLED IN THE PIT AND WIRED BY GENERAL CONTRACTOR'S ELECTRICIAN AS PER LAYOUT DRAWINGS.
- 11) ALL SCREENS, RAILINGS, STEPS, AND LADDERS AS REQUIRED FOR A LEGAL HOISTWAY.
- 12) BARRICADES OUTSIDE ALL HOISTWAY OPENINGS FOR PROTECTION SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTORS.
- 13) ROUGH OPENINGS FOR LANDING DOORS MUST BE 50" WIDE X 92" HIGH WITH A STRUCTURAL HEADER AT LEAST 10" HIGH ABOVE OPENING. ROUGH OPENING TO BE LOCATED AS PER LAYOUT DRAWING. BUILDING GENERAL CONTRACTOR IS RESPONSIBLE FOR FILLING IN AROUND DOOR FRAMES AFTER ELEVATOR INSTALLATION.
- 14) ALL WALL PATCHING, PAINTING, AND GROUTING BY OTHERS.
- 15) AN ADJACENT MACHINE ROOM BUILT TO CONFORM TO THE LAYOUT DRAWINGS, C.E.C., ASME A17.1-(SEE LAYOUT DRAWING "-01" FOR CODE YEAR), AND ALL PROVINCIAL AND LOCAL CODE REQUIREMENTS. IT SHALL HAVE SUITABLE ACCESS, A SELF CLOSING / SELF LOCKING DOOR, A CONVENIENCE OUTLET, AND LIGHT SWITCH. MACHINE ROOM TEMPERATURE MUST BE MAINTAINED BETWEEN 10 AND 35 DEGREES CELSIUS. RELATIVE HUMIDITY NOT TO EXCEED 95%.
- 16) A (SEE SPEC SHEET FOR POWER SUPPLY), 5HP SERVICE, WITH NEUTRAL, TO A LOCKABLE SAFETY DISCONNECT SWITCH FUSED WITH TIME DELAY FUSES SHALL BE FURNISHED IN THE MACHINE ROOM IN ACCORDANCE WITH C.E.C.. AN ADDITIONAL NORMALLY OPEN ELECTRICAL INTERLOCK CONTACT IS REQUIRED IN THE DISCONNECT FOR EMERGENCY CIRCUIT ISOLATION
- 17) A 120VAC, SINGLE PHASE, 15 AMP SERVICE TO A LOCKABLE, FUSED, DISCONNECT SWITCH OR CIRCUIT BREAKER LOCATED IN THE MACHINE ROOM SHALL BE PROVIDED FOR THE CAB LIGHTING IN ACCORDANCE WITH C.E.C..
- 18) A SEPARATE (DEDICATED) TELEPHONE LINE TO THE MACHINE ROOM AND TIED INTO THE ELEVATOR CONTROLLER AS PER ASME A17.1-(SEE LAYOUT DRAWING "-01" FOR CODE YEAR). PHONE LINE AND MONITORING SERVICE MUST BE OPERATIONAL PRIOR TO ELEVATOR LICENSE INSPECTION DATE. MUST BE MONITORED BY A LIVE SERVICE 24HRS/DAY 7 DAYS/WEEL
- 19) MACHINE ROOM VENTS IF REQUIRED BY THE LOCAL CODE.
- 20) GENERAL CONTRACTOR TO SUPPLY AND INSTALL KNOCK-OUT OR A 3" (4" AS REQ'D) EMT OR PVC CONDUIT BETWEEN THE MACHINE ROOM AND ELEVATOR HOISTWAY FOR ROUTING HYDRAULIC AND ELECTRICAL LINES TO BE CO-ORDINATED WITH CAMBRIDGE ELEVATING

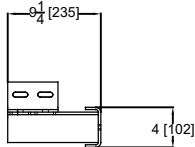
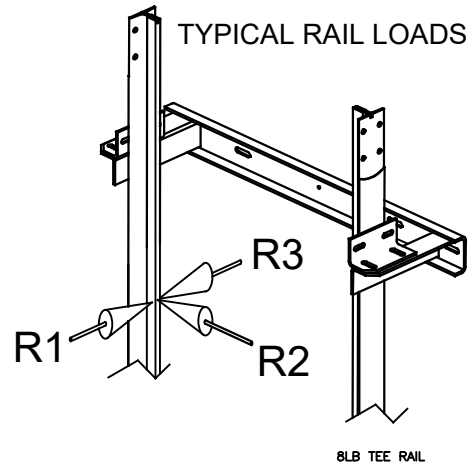
# DETAILS OF THE FOLLOWING SUPPORT GUIDE RAIL / RAIL BRACKETS / BASE PLATE

BREAK OUT BLOCKS OR USE SOLID CONCRETE BAND AT  
RAIL BRACKET LOCATIONS.

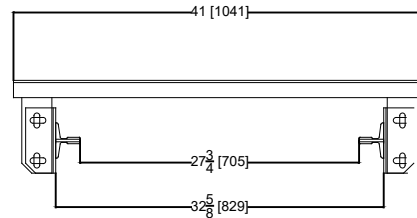
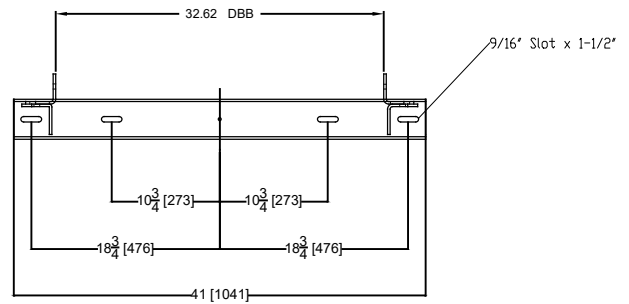
RAIL WALL AND EMBEDDING METHOD USED FOR  
UNISTRUT CONCRETE INSERTS SHALL BE DESIGNED BY  
GENERAL CONTRACTORS ENGINEER OR ARCHTECT TO  
WITHSTAND THE RAIL LOADS AS INDICATED.

| RAIL REACTIONS |               |
|----------------|---------------|
| R1             | 700lbf 3.11kN |
| R2             | 225lbf 1.0kN  |
| R3             | 700lbf 3.11kN |

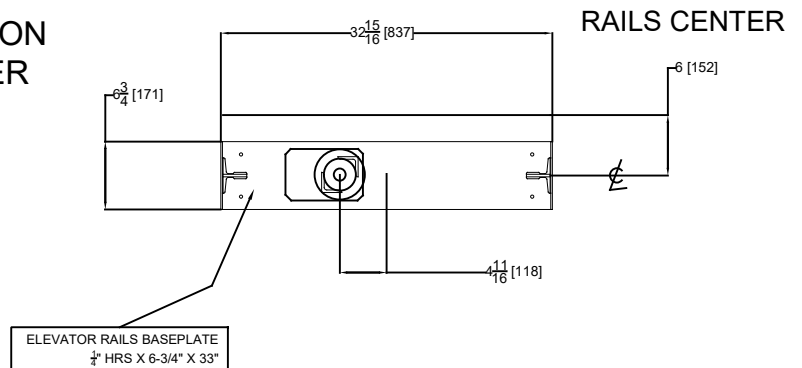
RAIL REACTIONS DO NOT  
INCLUDE SAFETY FACTOR



## LULA RAIL BRACKET



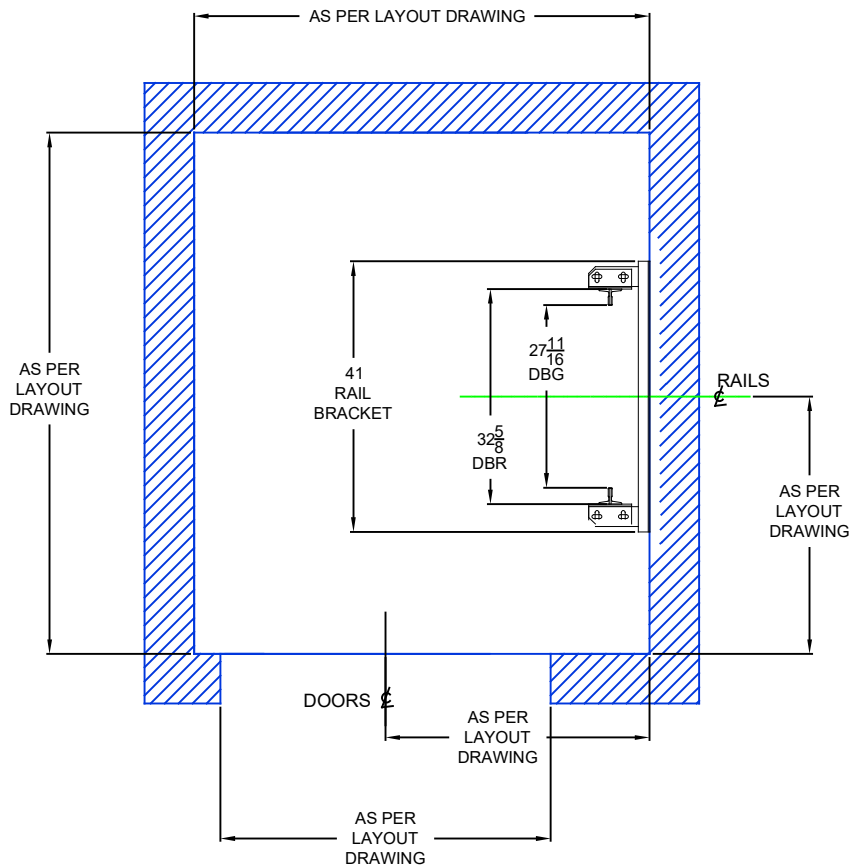
TYPICAL BASEPLATE INFORMATION  
FOR ORIENTATION PLEASE REFER  
TO LAYOUT DRAWING



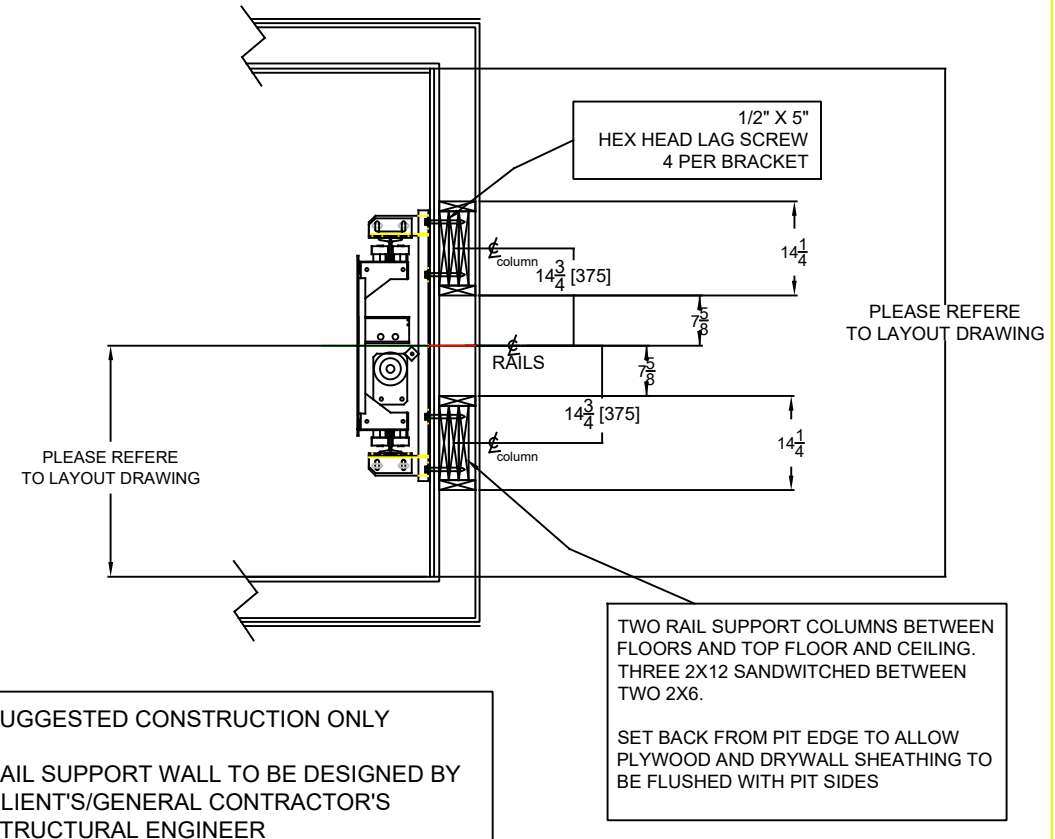
# HOISTWAY CONSTRUCTION / OPTIONS

## REFER TO LAYOUT DRAWING "-01" FOR JOB SPECIFIC DETAILS

### CONCRETE



### WOOD

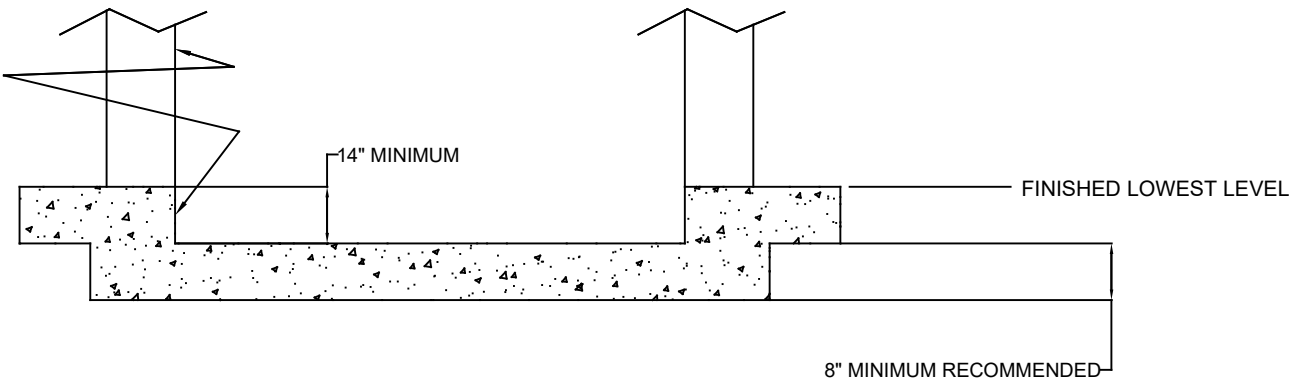


BREAK OUT BLOCKS OR USE SOLID CONCRETE BAND AT RAIL BRACKET LOCATIONS.  
RAIL WALL AND EMBEDDING METHOD USED FOR CONCRETE INSERTS / RAIL BRACKETS SHALL BE DESIGNED BY GENERAL CONTRACTORS ENGINEER OR ARCHTECT TO WITHSTAND THE RAIL LOADS AS INDICATED.

# TYPICAL / MINIMUM PIT DETAILS REQUIREMENTS

FOR EXACT PIT DIMENSION  
PLEASE REFER TO ELEVATION DRAWING

PIT EDGES AND FINISHED HOISTWAY  
WALLS TO BE FLUSH ALL SIDES  
SEE ELEVATOR LAYOUT FOR SIZING

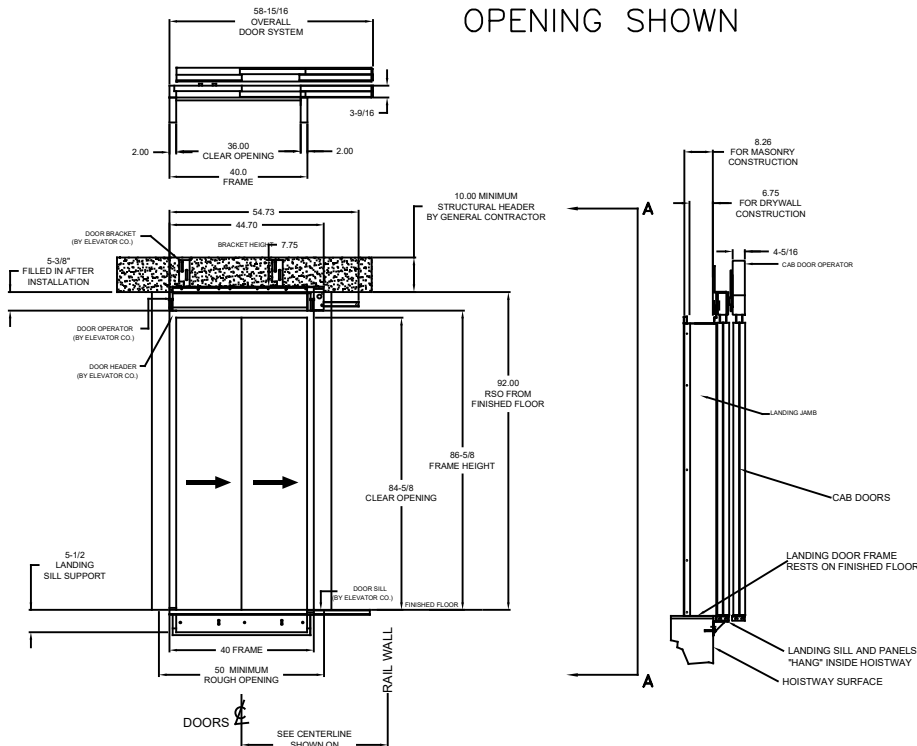


SUGGESTED HOISTWAY PIT FLOOR CONSTRUCTION  
CONSISTS OF AN 8" (203 MM) CONCRETE SLAB  
POURED ON A NATURAL OR COMPACTED SOIL WITH  
A MINIMUM ALLOWABLE BEARING PRESSURE OF 1.0 KSF.  
THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE  
AT 28 DAYS MUST BE NO LESS THAN 20 MPA  
#5 REINFORCING STEEL (GRADE 60) MUST BE PLACED AT  
THE BOTTOM OF THE SLAB IN 2 TRAVERSE DIRECTIONS  
AND AT A SPACING OF 12" (305 MM).  
HOISTWAY PIT FLOOR TO SUPPORT A LOAD OF 10 KIPS  
(10,000 LBS)/44.48KN (INCLUDES IMPACT).

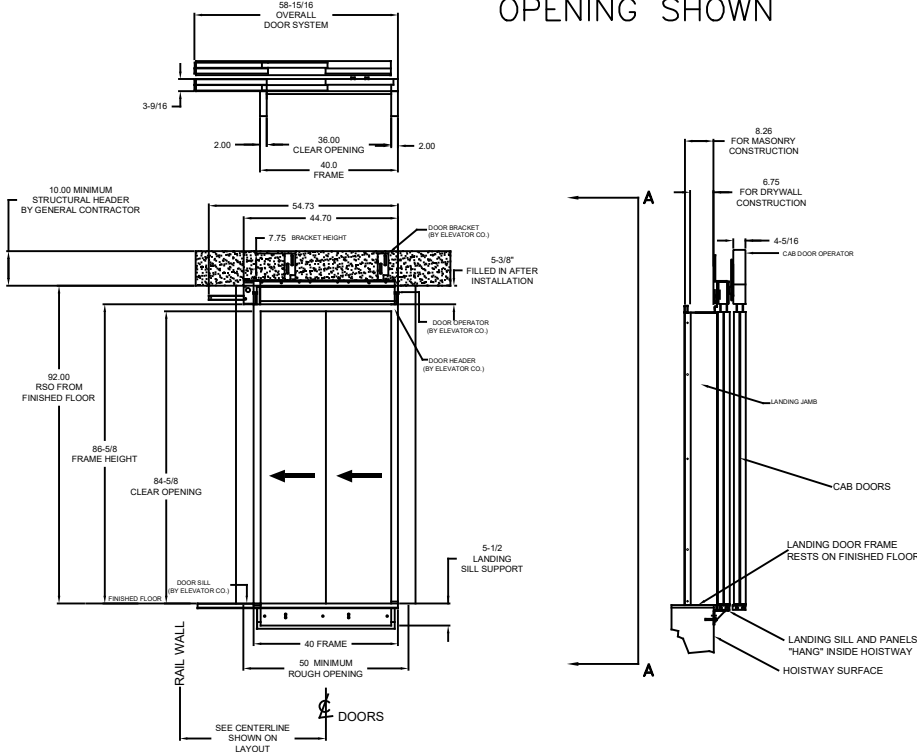
PIT DESIGN FOR ELEVATOR  
PURPOSES ONLY  
DOES NOT ACCOUNT FOR ANY  
ADDITIONAL STRUCTURAL LOADING

**CAMBRIDGE**  
ELEVATING  
INC.

## "LEFT HAND" OPENING SHOWN



## "RIGHT HAND" OPENING SHOWN

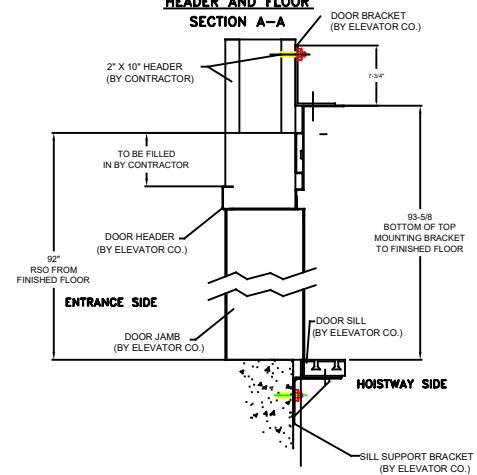


LEFT & RIGHT OPTION SHOWN  
FOR REFERENCE ONLY  
PLEASE REFER TO "-01"  
LAYOUT DRAWING FOR  
JOB SPECIFIC ORIENTATION

BY OTHERS;  
STRUCTURAL SUPPORTS OF HOISTWAY  
WALL/LANDING DOOR FRAME CONNECTIONS  
AND DOOR SYSTEM SHALL MEET  
CSA/ASME Section 2.11.11.8

THE TOP AND BOTTOM OF HORIZONTALLY  
SLIDING DOORS SHALL BE PROVIDED WITH  
A MEANS OF RETAINING THE CLOSED  
DOOR PANEL IN POSITION IF THE PRIMARY  
GUIDING MEANS FAIL, AND PREVENTING  
DISPLACEMENT OF THE DOOR PANEL TOP  
AND BOTTOM BY MORE THAN 20 MM  
(0.8 IN.) WHEN THE DOOR PANEL IS  
SUBJECTED TO A FORCE OF 5 000 N  
(1,125 LBF) IN THE DIRECTION OF THE  
HOISTWAY APPLIED AT RIGHT ANGLES TO  
THE PANEL OVER AN AREA OF 300 MM X  
300 MM (12 IN. X 12 IN.) AT THE  
APPROXIMATE CENTER OF THE PANEL.  
THE RETAINING MEANS SHALL ALSO  
WITHSTAND, WITHOUT DETACHMENT OR  
PERMANENT DEFORMATION, A FORCE OF  
1 000 N (225 LBF) APPLIED UPWARD AT  
ANY POINT ALONG THE WIDTH OF THE  
DOOR PANEL AND, WHILE THIS FORCE IS  
MAINTAINED, AN ADDITIONAL FORCE OF 1  
100 N (250 LBF) APPLIED AT RIGHT  
ANGLES TO THE DOOR AT THE CENTER OF  
THE PANEL. THIS FORCE SHALL BE  
DISTRIBUTED OVER AN AREA OF  
300 MM X 300 MM (12 IN. X 12 IN.).  
THE RETAINING MEANS SHALL NOT BE  
SUBJECTED TO WEAR  
OR STRESS DURING NORMAL DOOR  
OPERATION OR MAINTENANCE.

### HEADER AND FLOOR SECTION A-A



**From:** [Dave Lorenz](#)  
**To:** [Desiree Fragoso](#); [Douglas Kerr](#)  
**Cc:** [Jon Bushnell](#); [Chrissy Lorenz](#); [Brian Collie](#)  
**Subject:** [EXTERNAL] Islander 71 elevator process  
**Date:** Friday, November 4, 2022 9:12:27 AM

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[EXTERNAL]

Desiree and Douglas,

Thank you for sharing the information on the elevator yesterday. We know that a lot of work, time and money will go into a project like this and we are willing to explore the process. Our understanding is that the City Council recommended that we explore all options to add an elevator to the restaurant and we support the City's decision to move forward. We also understand that the City Council recommended that the cost of the elevator would be funded by A-TAX funding. As you know we have spent an extraordinary amount of money to fully renovate the restaurant and have delivered the city an amazing building. At this time and the near future we would not be able to contribute to the project due to our current and ongoing investment in the building.

The installation of the elevator per Trident Constructions recommendation will reduce our seating capacity, but as both a business owner and an IOP resident we know this is an important issue for all the residents of Isle of Palms and we would like to explore the process/next steps.

Please let me know if this is clear and our interpretation of the City Council's recommendations are similar to your understanding.

thanks

--

**Dave Lorenz | Partner**  
**Islander 71**

# City Council Request

## June 22, 2021

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- *“Very specifically, the Planning Commission should be looking at livability issues and potentially caps on short-term rentals.”*
- **Determine the need for a moratorium on short-term rentals**
- **Prepare recommendations for City Council**



# History & Background Information

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- 2001- Council requires business licenses for all rentals
- 2002- Council limits the size of new houses
- 2005- Council requests Planning Commission analysis and recommendations
- 2006- Council establishes occupancy limits
- 2010- Council limits max occupancy of 12 people
- 2019- Council requests Planning Commission analysis and recommendations
- 2020- Council enacts five complaints and license revoked
- 2021- Council requests analysis and recommendations on cap

# Planning Commission Recommendations

- Establish a cap of rental licenses for each zone at 10% higher than 2020 licenses
- Areas with more than 25% of the properties already in the short-term rental market (Ocean Boulevard, Palm Boulevard between 21<sup>st</sup> and 41<sup>st</sup> Avenue, ocean side of Palm Boulevard between 41<sup>st</sup> and 57<sup>th</sup> Avenues, Palmetto Boulevard, all commercial properties, and all multifamily properties) would be exempt from the cap
- When a zone meets its cap, a waiting list would be established and licenses would be issued on a one-out, one-in basis
- Property owners holding a short-term rental license will have preference to renew their annual license
- Short-term rental licenses would be transferable when properties are sold
- Limit occupancy of newly constructed or licensed homes in capped areas to 8
- When a rental property converts to non-rental for 1 year +, the occupancy limit reverts to 12 in uncapped areas and 8 in capped areas
- Review the short-term rental regulations annually- particularly trends in un-capped areas

**City of Isle of Palms**  
**Financial Statement Summary as of October 31, 2022**  
**(Dollars in Thousands)**

| REVENUES          |                  |                         |                                      |                               |   |      | TRANSFERS IN / (OUT) |                  |                          |                                      |                               |   | EXPENDITURES  |                  |                       |                                      |                               |   | YTD Actual<br>Net Rev &<br>Exp |
|-------------------|------------------|-------------------------|--------------------------------------|-------------------------------|---|------|----------------------|------------------|--------------------------|--------------------------------------|-------------------------------|---|---------------|------------------|-----------------------|--------------------------------------|-------------------------------|---|--------------------------------|
| YTD Actual        | Annual<br>Budget | Remaining<br>to Collect | YTD<br>Actual as<br>a % of<br>Budget | Current<br>Annual<br>Forecast | Forecast<br>Above or<br>(Below)<br>Budget |      | YTD Actual           | Annual<br>Budget | Remaining<br>to Transfer | YTD<br>Actual as<br>a % of<br>Budget | Current<br>Annual<br>Forecast | Forecast<br>Above or<br>(Below)<br>Budget | YTD<br>Actual | Annual<br>Budget | Remaining<br>to Spend | YTD<br>Actual as<br>a % of<br>Budget | Current<br>Annual<br>Forecast | Forecast<br>Above or<br>(Below)<br>Budget |                                |
| General           | \$ 2,280         | \$ 12,901               | \$ 10,621                            | 18%                           | \$ 12,901                                 | \$ - | \$ 8                 | \$ 420           | \$ (412)                 | 2%                                   | \$ 420                        | \$ -                                      | \$ 3,884      | \$ 13,321        | \$ 9,437              | 29%                                  | \$ 13,321                     | \$ -                                      | (1,596)                        |
| Capital Projects  | 91               | 1,713                   | 1,622                                | 5%                            | 1,713                                     | -    | -                    | 823              | (823)                    | 0%                                   | 823                           | -   | 315           | 4,417            | 4,102                 | 7%                                   | 4,417                         | -   | (224)                          |
| Muni Accom Tax    | 519              | 2,142                   | 1,623                                | 24%                           | 2,142                                     | -    | -                    | (833)            | 833                      | 0%                                   | (833)                         | -   | 336           | 1,657            | 1,321                 | 20%                                  | 1,657                         | -   | 183                            |
| Hospitality Tax   | 428              | 1,001                   | 573                                  | 43%                           | 1,001                                     | -    | -                    | (266)            | 266                      | 0%                                   | (266)                         | -   | 186           | 1,137            | 951                   | 16%                                  | 1,137                         | -   | 242                            |
| State Accom Tax   | 1,411            | 2,619                   | 1,208                                | 54%                           | 2,619                                     | -    | (8)                  | (944)            | 936                      | 1%                                   | (944)                         | -   | 672           | 1,772            | 1,100                 | 38%                                  | 1,772                         | -   | 731                            |
| Beach Prserv Fee  | 554              | 1,546                   | 992                                  | 36%                           | 1,546                                     | -    | -                    | -                | -                        | -                                    | -                             | -   | 23            | 415              | 392                   | 6%                                   | 415                           | -   | 531                            |
| Marina            | 229              | 415                     | 186                                  | 55%                           | 415                                       | -    | -                    | 800              | (800)                    | 0%                                   | 800                           | -   | 370           | 819              | 449                   | 45%                                  | 819                           | -   | (141)                          |
| Disaster Recovery | 24               | 3                       | (21)                                 | 800%                          | 3   | -    | -                    | -                | -                        | -                                    | -                             | -   | 111           | 10               | (101)                 | 1110%                                | 10                            | -   | (87)                           |
| All Other         | 229              | 189                     | (40)                                 | 121%                          | 189                                       | -    | -                    | -                | -                        | -                                    | -                             | -   | 190           | 183              | (7)                   | 104%                                 | 183                           | -   | 39                             |
| Total All Funds   | \$ 5,765         | \$ 22,529               | \$ 16,764                            | 26%                           | \$ 22,529                                 | \$ - | \$ -                 | \$ -             | \$ -                     |                                      | \$ -                          | \$ -                                      | \$ 6,087      | \$ 23,731        | \$ 17,644             | 26%                                  | \$ 23,731                     | \$ -                                      | \$ (322)                       |

| General Fund YTD Revenues       |                       |                |                        |                    |                      |                               |   |
|---------------------------------|-----------------------|----------------|------------------------|--------------------|----------------------|-------------------------------|---|
|                                 | FY23<br>YTD<br>Actual | FY23<br>Budget | % of<br>FY23<br>Budget | FY22 YTD<br>Actual | % of<br>Prior<br>YTD | Current<br>Annual<br>Forecast | Forecast<br>Above/<br>(Below)<br>Budget |
| Prop Tax                        | \$ 52                 | \$ 4,924       | 1%                     | \$ 52              | 100%                 | \$ 4,924                      | \$ -                                    |
| LO Sales Tax                    | 247                   | 1,014          | 24%                    | 130                | 190%                 | 1,014                         | -                                       |
| Business Lic                    | 430                   | 1,500          | 29%                    | 232                | 185%                 | 1,500                         | -                                       |
| Rental Lic                      | 85                    | 975            | 9%                     | 504                | 17%                  | 975                           | -                                       |
| Other Lic (Insurance/Utilities) | 53                    | 1,591          | 3%                     | 58                 | 91%                  | 1,591                         | -                                       |
| Build Pmts                      | 459                   | 725            | 63%                    | 281                | 163%                 | 725                           | -                                       |
| From State                      | 80                    | 298            | 27%                    | 8                  | 1000%                | 298                           | -                                       |
| Parking                         | 613                   | 1,330          | 46%                    | 678                | 90%                  | 1,330                         | -                                       |
| All Other                       | 261                   | 544            | 48%                    | 281                | 93%                  | 544                           | -                                       |
| Total                           | \$ 2,280              | \$ 12,901      | 18%                    | \$ 2,224           | 103%                 | \$ 12,901                     | \$ -                                    |

| General Fund YTD Expenditures (YTD target = 33%) |                       |                |                     |                       |                   |                               |   |
|--|-----------------------|----------------|---------------------|-----------------------|-------------------|-------------------------------|---|
|  | FY23<br>YTD<br>Actual | FY23<br>Budget | % of FY23<br>Budget | FY22<br>YTD<br>Actual | % of Prior<br>YTD | Current<br>Annual<br>Forecast | Forecast<br>(Above)/<br>Below<br>Budget |
| Mayor/Council                                    | \$ 34                 | \$ 116         | 29%                 | \$ 34                 | 100%              | \$ 116                        | \$ -                                    |
| General Govt                                     | 458                   | 2,410          | 19%                 | 384                   | 119%              | 2,410                         | -                                       |
| Police   | 905                   | 3,158          | 29%                 | 826                   | 110%              | 3,158                         | -                                       |
| Fire   | 1,279                 | 3,984          | 32%                 | 1,131                 | 113%              | 3,984                         | -                                       |
| Public Works                                     | 556                   | 1,692          | 33%                 | 480                   | 116%              | 1,692                         | -                                       |
| Build & Lic                                      | 122                   | 462            | 26%                 | 125                   | 98%               | 462                           | -                                       |
| Recreation                                       | 356                   | 1,121          | 32%                 | 327                   | 109%              | 1,121                         | -                                       |
| Judicial   | 114                   | 275            | 41%                 | 85                    | 134%              | 275                           | -                                       |
| BSOs   | 60                    | 103            | 58%                 | 43                    | 140%              | 103                           | -                                       |
| Total  | \$ 3,884              | \$ 13,321      | 29%                 | \$ 3,435              | 113%              | \$ 13,321                     | \$ -                                    |

**City of Isle of Palms Supplemental Financial Information as of October 31, 2022 (*Dollars in Thousands*)**

| <b>Cash Balances</b>                                |                  |                  |
|---|------------------|------------------|
|   | <b>9/30/2022</b> | <b>9/30/2021</b> |
| General Fund  | 6,130            | 5,034            |
| <b><i>As a % of GF Exp (target is &gt; 30%)</i></b> | <b>46%</b>       | <b>44%</b>       |
| Capital Projects                                    | 10,472           | 8,539            |
| Disaster Recovery                                   | 2,891            | 2,827            |
| Marina  | 452              | 1,665            |
| Tourism Funds                                       | 8,285            | 4,711            |
| Beach Preservation                                  | 7,025            | 5,352            |
| Other Restricted                                    | 194              | 309              |
| Total All Cash                                      | 35,449           | 28,437           |
| <b>Deposits at LGIP (3.2389%)</b>                   | <b>33,817</b>    | <b>95%</b>       |
| <b>Deposits at TRUIST</b>                           | <b>1,632</b>     | <b>5%</b>        |
| <b>RESTRICTED CASH</b>                              | <b>15,504</b>    | <b>44%</b>       |

| <b>Fund Balances</b> |   |   |                         |                                  |                                  |
|----------------------|---|---|-------------------------|----------------------------------|----------------------------------|
| <b>Fund</b>          | 6/30/2022<br>Unaudited Fund<br>Balance (Note 1) | FY23 YTD Actual<br>Net Revenues &<br>Transfers Less<br>Expenses | Current Fund<br>Balance | 6/30/23 Budgeted<br>Fund Balance | 6/30/23 Forecast<br>Fund Balance |
| General Fund         | \$ 4,244  | \$ (1,596)  | 2,648                   | \$ 3,892                         | \$ 3,892                         |
| Capital Projects     | 11,553  | (224)   | 11,329                  | 9,357                            | 9,357                            |
| Muni Accom Tax       | 2,483   | 183   | 2,666                   | 1,932                            | 1,932                            |
| Hospitality Tax      | 1,269   | 242   | 1,511                   | 693                              | 693                              |
| State Accom Tax      | 2,913   | 731   | 3,644                   | 1,984                            | 1,984                            |
| Beach Funds          | 6,494   | 531   | 7,025                   | 7,065                            | 7,065                            |
| Marina (See Note 1)  | 445   | (11)  | 434                     | 960                              | 960                              |
| Disaster Recovery    | 3,056   | (87)  | 2,969                   | 2,813                            | 2,813                            |
| All Other            | 151   | 39  | 190                     | 143                              | 143                              |
| Total All Funds      | \$ 32,608                                       | \$ (192)  | \$ 32,416               | \$ 28,839                        | \$ 28,839                        |

*Note 1: The comparable amount for the Marina Enterprise Fund is not Fund Balance, but Unrestricted Net Position. To be consistent with the presentation of the other funds, the Marina Fund Balance does not include net fixed assets. Unrestricted net position is approx equal to net current assets for the Marina.*

**October 2022 Notes:**

- Business license and building permit revenues continue to show significant gains over prior YTD levels. Rental License revenue is significantly *less* than the prior year because FY22 includes the extra 6-month license period required to align the City's rental license renewal period to the state standard. General Fund expenditures are approximately 4% below budget targets YTD.
- The City has approximately \$35 million in cash deposits. Approximately \$2.6 million of this total represents unspent bond proceeds, \$2.2 million is unspent federal ARP funding and \$15.5 million is restricted for tourism related expenditures or beach preservation.
- The City received the 2nd tranche of the ARPA NEU funds on October 18th. The City's total grant award is \$2,170,600, all of which has been received and recorded as deferred revenue in the Capital Projects Fund.
- The City incurred expenses totaling \$108,000 in October on preparation and cleanup related to Hurricane Ian. The largest expense was \$102,500 paid to a local contractor for emergency storm debris removal.

**Heads in  
Beds in**

**JUN  
JUL  
AUG  
SEPT  
OCT  
NOV  
DEC  
JAN  
FEB  
MAR  
APR  
MAY  
JUN**

City of Isle of Palms Tourism and Local Options Sales Tax Revenues

| State Accommodations Tax (Tourism-Related Only) |                      |                      |                      | (Approx 2% of Accommodation Sales) |                       |                       |                       |
|---|----------------------|----------------------|----------------------|------------------------------------|-----------------------|-----------------------|-----------------------|
|   | FY17                 | FY18                 | FY19                 | FY20                               | FY21                  | FY22                  | FY23                  |
| Sept Qtr  | 520,784              | 518,028              | 546,269              | 580,306                            | 553,971               | 861,205               | 952,270               |
| Dec Qtr   | 178,830              | 202,803              | 203,067              | 181,550                            | 252,012               | 347,299               |                       |
| Mar Qtr   | 61,586               | 71,773               | 103,097              | 88,638                             | 132,256               | 168,824               |                       |
| June Qtr  | 407,460              | 413,234              | 445,779              | 242,893                            | 650,839               | 886,253               |                       |
| Total Fiscal Yr                                 | 1,168,660            | 1,205,838            | 1,298,212            | 1,093,387                          | 1,589,078             | 2,263,580             | 952,270               |
|   | 3%<br>Incr from FY16 | 3%<br>Incr from FY17 | 8%<br>Incr from FY18 | -16%<br>Incr from FY19             | 45%<br>Incr from FY20 | 42%<br>Incr from FY21 | 11%<br>Incr from FY22 |

Heads in  
Beds in

Jun-Aug  
Sept-Nov  
Dec-Feb  
Mar-May

| Chas County ATax Pass-Through |                      |                        |                       | (20% of County's 2% on IOP Accommodation Sales) |                       |                       |                |
|-------------------------------|----------------------|------------------------|-----------------------|---|-----------------------|-----------------------|----------------|
|                               | FY17**               | FY18                   | FY19                  | FY20  | FY21                  | FY22                  | FY23           |
| Sept Qtr                      | 520,000              | 327,750                | 381,000               | 370,500   | -                     | 301,714               |                |
| Dec Qtr                       |                      |                        |                       |   |                       | 99,602                |                |
| Mar Qtr                       |                      |                        |                       |   |                       | 59,369                |                |
| June Qtr                      | -                    | 109,250                | 127,000               | -   | 508,000               | 269,609               |                |
| Total Fiscal Yr               | 520,000              | 437,000                | 508,000               | 370,500   | 508,000               | 730,293               | -              |
|                               | 7%<br>Incr from FY16 | -16%<br>Incr from FY17 | 16%<br>Incr from FY18 | -27%<br>Incr from FY19                          | 37%<br>Incr from FY20 | 44%<br>Incr from FY21 | Incr from FY22 |

## City of Isle of Palms Tourism and Local Options Sales Tax Revenues

| Hospitality Tax                        |                    |                    |                    |                      |                     |                     |                     | Food/Bev Sold in |
|--|--------------------|--------------------|--------------------|----------------------|---------------------|---------------------|---------------------|------------------|
| (2% of Prepared Food & Beverage Sales) |                    |                    |                    |                      |                     |                     |                     |                  |
|  | FY17               | FY18               | FY19               | FY20                 | FY21                | FY22                | FY23                |                  |
| JUL                                    | 85,051             | 89,309             | 104,681            | 88,238               | 66,947              | 137,933             | 142,534             | JUN              |
| AUG                                    | 93,123             | 98,883             | 101,031            | 106,673              | 59,353              | 135,765             | 165,544             | JUL              |
| SEPT                                   | 77,619             | 81,373             | 78,014             | 78,129               | 49,484              | 108,077             | 131,756             | AUG              |
| OCT                                    | 68,348             | 56,439             | 69,394             | 76,033               | 37,348              | 88,581              | 121,169             | SEPT             |
| NOV                                    | 46,488             | 70,905             | 65,210             | 66,929               | 27,609              | 96,511              |                     | OCT              |
| DEC                                    | 40,557             | 41,260             | 38,440             | 56,591               | 46,700              | 56,990              |                     | NOV              |
| JAN                                    | 27,883             | 19,085             | 31,905             | 28,058               | 57,988              | 48,652              |                     | DEC              |
| FEB                                    | 27,947             | 28,826             | 27,373             | 27,574               | 24,135              | 33,118              |                     | JAN              |
| MAR                                    | 39,785             | 49,744             | 40,741             | 21,853               | 39,019              | 62,430              |                     | FEB              |
| APR                                    | 57,961             | 66,633             | 66,425             | 12,956               | 50,777              | 79,088              |                     | MAR              |
| MAY                                    | 85,246             | 79,870             | 85,134             | 15,429               | 85,357              | 142,227             |                     | APR              |
| JUNE                                   | 92,137             | 87,753             | 100,621            | 46,102               | 114,802             | 151,832             |                     | MAY              |
| Deduct last July                       | (85,051)           | (89,309)           | (104,681)          | (88,238)             | (66,947)            | (137,933)           | (142,534)           |                  |
| Add next July                          | 89,309             | 104,681            | 88,238             | 66,947               | 137,933             | 142,534             | -                   | JUN              |
| Total Fiscal Year                      | 746,402            | 785,452            | 792,527            | 603,275              | 730,503             | 1,145,806           | 418,468.38          |                  |
|  | Incr fr FY16<br>8% | Incr fr FY17<br>5% | Incr fr FY18<br>1% | Incr fr FY19<br>-24% | Incr fr FY20<br>21% | Incr fr FY21<br>57% | Incr fr FY22<br>19% |                  |

City of Isle of Palms Tourism and Local Options Sales Tax Revenues

| Beach Preservation Fee (1% of Accommodation Sales) |           |                |                |                |                |                |                | Heads in<br>Beds in |
|--|-----------|----------------|----------------|----------------|----------------|----------------|----------------|---------------------|
|  | FY17      | FY18           | FY19           | FY20           | FY21           | FY22           | FY23           |                     |
| JUL  | 161,068   | 192,666        | 199,724        | 195,287        | 172,336        | 256,308        | 301,674        | JUN                 |
| AUG  | 218,620   | 181,842        | 209,600        | 213,067        | 169,596        | 378,001        | 314,397        | JUL                 |
| SEPT   | 136,141   | 157,274        | 152,535        | 152,561        | 186,938        | 248,118        | 187,966        | AUG                 |
| OCT  | 77,500    | 75,353         | 79,534         | 75,506         | 129,033        | 124,372        |                | SEPT                |
| NOV  | 57,777    | 64,256         | 63,444         | 65,882         | 66,090         | 102,229        |                | OCT                 |
| DEC  | 36,937    | 32,877         | 40,182         | 34,301         | 71,683         | 70,478         |                | NOV                 |
| JAN  | 28,217    | 28,859         | 25,836         | 32,335         | 34,025         | 75,503         |                | DEC                 |
| FEB  | 15,332    | 18,317         | 13,666         | 18,596         | 26,709         | 25,613         |                | JAN                 |
| MAR  | 20,485    | 21,562         | 19,983         | 9,690          | 31,080         | 39,938         |                | FEB                 |
| APR  | 51,166    | 53,213         | 53,685         | 26,422         | 68,055         | 82,759         |                | MAR                 |
| MAY  | 92,529    | 88,875         | 90,800         | 7,181          | 125,288        | 186,478        |                | APR                 |
| JUNE   | 95,768    | 94,112         | 97,999         | 55,311         | 153,337        | 183,011        |                | MAY                 |
| Deduct last July                                   | (161,068) | (139,501)      | (199,724)      | (195,287)      | (172,336)      | (256,308)      | (301,674)      |                     |
| Add next July                                      | 139,501   | 199,724        | 195,287        | 172,336        | 256,308        | 301,674        |                | JUN                 |
| Total Fiscal Year                                  | 969,974   | 1,069,429      | 1,042,551      | 863,187        | 1,318,141      | 1,818,174      | 502,363        |                     |
|  |           |                |                |                |                |                |                |                     |
| Incr from FY16                                     |           | Incr from FY17 | Incr from FY18 | Incr from FY19 | Incr from FY20 | Incr from FY21 | Incr from FY22 |                     |
| 0%   |           | 10%            | -3%            | -17%           | 53%            | 38%            | -9%            |                     |



City of Isle of Palms Tourism and Local Options Sales Tax Revenues

| Local Option Sales Tax   |                |                |                |                |                |                | When Sales<br>Occurred |
|--|----------------|----------------|----------------|----------------|----------------|----------------|------------------------|
| (a portion of the 1% Charleston County local option sales tax) |                |                |                |                |                |                |                        |
|  | FY18           | FY19           | FY20           | FY21           | FY22           | FY23           |                        |
| AUG  | 83,614         | 88,713         | 93,221         | 87,833         | 130,373        | 135,943        | JUL                    |
| SEPT   | 73,671         | 72,557         | 83,456         | 83,149         | 99,719         | 111,272        | AUG                    |
| OCT  | 61,352         | 63,829         | 62,752         | 71,963         | 83,230         |                | SEPT                   |
| NOV  | 61,040         | 61,435         | 65,514         | 68,054         | 85,199         |                | OCT                    |
| DEC  | 49,732         | 54,748         | 59,951         | 67,342         | 73,716         |                | NOV                    |
| JAN  | 55,282         | 57,483         | 64,996         | 69,592         | 71,846         |                | DEC                    |
| FEB  | 43,314         | 48,026         | 53,263         | 58,840         | 64,365         |                | JAN                    |
| MAR  | 47,589         | 49,240         | 50,882         | 60,533         | 66,029         |                | FEB                    |
| APR  | 60,349         | 65,794         | 43,070         | 83,678         | 90,351         |                | MAR                    |
| MAY  | 77,153         | 85,394         | 56,012         | 100,082        | 108,756        |                | APR                    |
| JUNE   | 70,879         | 78,238         | 74,078         | 102,313        | 109,271        |                | MAY                    |
| JULY   | 88,382         | 92,504         | 92,789         | 117,380        | 128,957        |                | JUN                    |
| Total Fiscal Year  | 772,357        | 817,962        | 799,984        | 970,759        | 1,111,813      | 247,215        |                        |
|  | Incr from FY17 | Incr from FY18 | Incr from FY19 | Incr from FY20 | Incr from FY21 | Incr from FY22 |                        |
|  |                | 6%             | -2%            | 21%            | 15%            | 7%             |                        |

City of Isle of Palms

Drainage Phase 3 including small internal projects

Funded with Capital Projects & Muni Atax Funds, a \$3.5M GO Bond and NPDES Funds

Contracts and Change Orders Approved :

|                          |            |  |
|--------------------------|------------|--|
| Thomas & Hutton          | 11/27/2018 | Proj .0000 - Outfall Study - surveying, needs assessment & conceptual design                     |
| Thomas & Hutton          | correction | Proj .0000 - Change Order #1 for Project Admin & Meetings  |
| Thomas & Hutton          |            | Proj .0002 - preliminary assessment of small but high impact projects in basin                   |
| Thomas & Hutton          |            | Proj .0003 - design, eng & permitting for small but high impact projects in basin                |
| Thomas & Hutton          |            | Proj .0004 - design, eng & permitting for outfalls @ 30th Ave & Forest Trail + 41st Ave improves |
| Thomas & Hutton          | 6/23/2020  | Proj .0005 - conceptual assessment of Waterway Blvd elevation study                              |
| Thomas & Hutton          | 7/28/2020  | Proj .0003 CO - bidding & construction admin services for internal drainage projects             |
| Thomas & Hutton          |            | Proj .0004 CO - additional permitting efforts for outfalls                                       |
| Thomas & Hutton          |            | Proj .0006 - bidding & construction admin for 30th & 36th Ave outfalls                           |
| Gulf Stream Construction |            | Construction Contract, internal drainage projects (incl \$11,239 in Chg Orders)                  |
| Quality Enterprises      |            | Construction Contract, Forest Trail & 30th Avenue outfalls                                       |

Project Expenditures:

| Invoice Date           | Invoice # | Payee                         | Description of Work                             |
|------------------------|-----------|-------------------------------|---|
| FY 2019                |           | Thomas & Hutton Engineering   | Engineering & Design Fees, Projects .00 and .02 |
| FY 2020                |           | Thomas & Hutton Engineering   | Engineering & Design Fees, .00, .02, .03 & .04  |
| FY 2021                |           | Thomas & Hutton Engineering   | Engineering & Design Fees, .03, .04 & .05       |
| FY 2022                |           | Thomas & Hutton Engineering   | Engineering & Design Fees, .03, .04 & .06       |
| FY2023                 |           | Thomas & Hutton Engineering   | Design, Permitting, Bidding, Construction Mgt   |
| 1/1/21                 |           | SCDHEC/OCRM                   | permit  |
| 4/1/21                 |           | Gulf Stream Construction      | Pay App #1                                      |
| 4/22/21                |           | Gulf Stream Construction      | Pay App #2                                      |
| 6/1/21                 |           | Gulf Stream Construction      | Pay App #3                                      |
| 8/23/21                |           | Gulf Stream Construction      | Pay App #4                                      |
| 9/1/21                 |           | Gulf Stream Construction      | Pay App #5                                      |
| 9/24/21                |           | Gulf Stream Construction      | Pay App #6                                      |
| 10/31/21               |           | Gulf Stream Construction      | Pay App #7                                      |
| 11/30/21               |           | Gulf Stream Construction      | Pay App #8                                      |
| 12/31/21               |           | Gulf Stream Construction      | Pay App #9                                      |
| 3/1/22                 |           | Gulf Stream Construction      | Pay App #10 FINAL                               |
| 5/1/22                 |           | Quality Enterprises, USA, Inc | Pay App #1                                      |
| 5/31/22                |           | Quality Enterprises, USA, Inc | Pay App #2                                      |
| 6/30/22                |           | Quality Enterprises, USA, Inc | Pay App #3 (thru 6/30/22)                       |
| 9/26/22                |           | Quality Enterprises, USA, Inc | Pay App #4                                      |
| Total paid             |           |                               |   |
| Remaining on contracts |           |                               |   |

|  |             |
|--|-------------|
| FY19 Project Spending                        | 93,052      |
| FY20 Project Spending                        | 161,473     |
| FY21 Spending for Small Project Construction | 452,803     |
| FY21 Spending for Outfall Construction       | 182,855     |
| FY22 Spending for Small Project Construction | 207,523     |
| FY22 Spending for Outfall Construction       | 586,821     |
| FY23 Budget for Outfall Construction         | 2,596,000   |
| Contracts/Change Orders                      | (3,745,276) |
| Budget Funds Remaining                       | 442,199     |

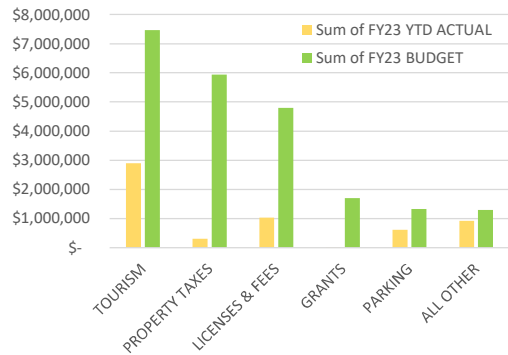
| Engineering & Design | Project Admin | Construction | Contingency | Total     |
|----------------------|---------------|--------------|-------------|-----------|
| 100,800              |               |              |             | 100,800   |
| -                    | 13,000        |              | -           | 13,000    |
| 23,300               |               |              | -           | 23,300    |
| 62,600               |               |              |             | 62,600    |
| 229,500              |               |              |             | 229,500   |
| 18,900               |               |              |             | 18,900    |
| 30,000               |               |              |             | 30,000    |
| 43,300               |               |              |             | 43,300    |
| 102,200              |               |              |             | 102,200   |
|                      |               | 623,771      |             | 623,771   |
|                      |               | 2,270,823    | 227,082     | 2,497,905 |
| 610,600              | 13,000        | 2,894,593    | 227,082     | 3,745,276 |

|         |        |           |         |           |
|---------|--------|-----------|---------|-----------|
| 87,437  | 5,615  | -         | -       | 93,052    |
| 154,087 | 7,386  | -         | -       | 161,473   |
| 212,479 | -      | -         | -       | 212,479   |
| 110,365 | -      | -         | -       | 110,365   |
| 21,272  | -      | -         | -       | 21,272    |
| 250     |        |           |         | 250       |
|         |        | 239,853   |         | 239,853   |
|         |        | 93,969    |         | 93,969    |
|         |        | 89,107    |         | 89,107    |
|         |        | 24,216    |         | 24,216    |
|         |        | 19,158    |         | 19,158    |
|         |        | 8,550     |         | 8,550     |
|         |        | 63,352    |         | 63,352    |
|         |        | 9,562     |         | 9,562     |
|         |        | 19,477    |         | 19,477    |
|         |        | 63,027    |         | 63,027    |
|         |        | 112,315   |         | 112,315   |
|         |        | 205,934   |         | 205,934   |
|         |        | 158,388   |         | 158,388   |
|         |        | 100,435   |         | 100,435   |
| 585,890 | 13,000 | 1,207,343 | -       | 1,806,233 |
| 24,710  | -      | 1,687,250 | 227,082 | 1,939,043 |

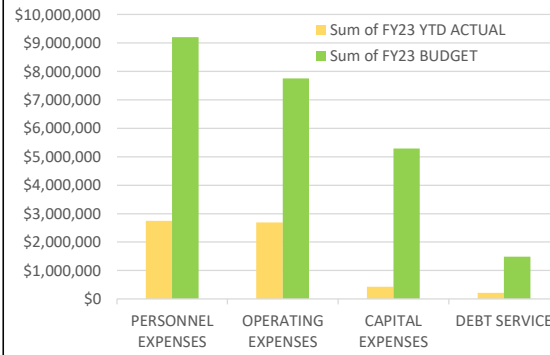
# City of Isle of Palms Operations Dashboard

**October 2022**

**City Revenues by Category**



**City Expenses by Category**



**Personnel Vacancies**

| Type      | City Hall | Police     | Fire | Pub Wks | Rec                           |
|-----------|-----------|------------|------|---------|-------------------------------|
| Full-time |           | 2 Patrol   |      | 1 CDL   | 1 Dir<br>1 Suprv<br>1 Grounds |
| Part-time |           | 1 Code Enf |      |         |                               |

**Upcoming Community Events**

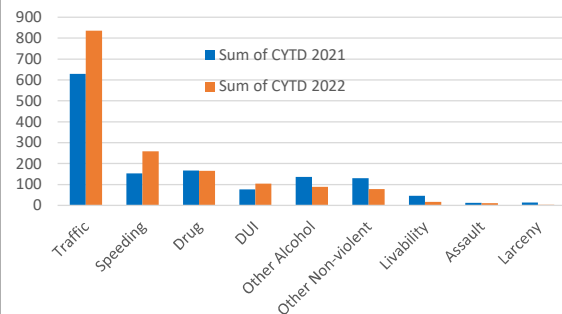
**Accommodations Tax Advisory Committee Meeting**  
Thursday, November 17, 11am-12pm at City Hall

**Holiday Street Festival**  
Saturday, December 3, 2-7pm at Front Beach

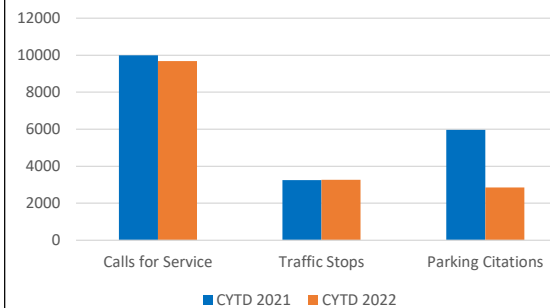
**Special Council Meeting**  
December 6, 2022, 5-6pm at City Hall

**Santa's Cookie Workshop**  
Tuesday, December 20, 2pm at the Recreation Center

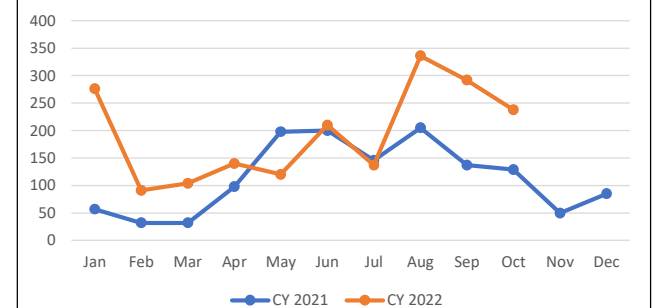
**Police Department Charges**



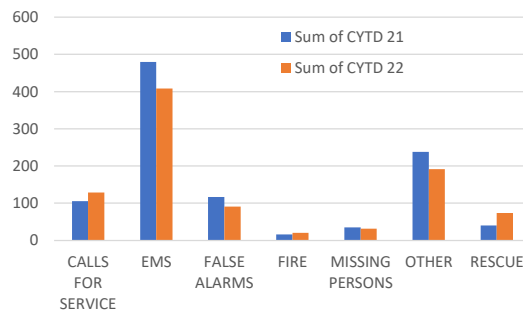
**Other Police Actions**



**Municipal Court Docket - # of Cases**

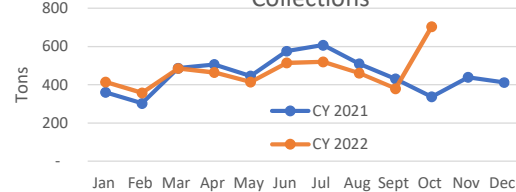


**Fire Department Calls By Type**



**% of YTD Calls: Resident 32% Non-resident 68%**

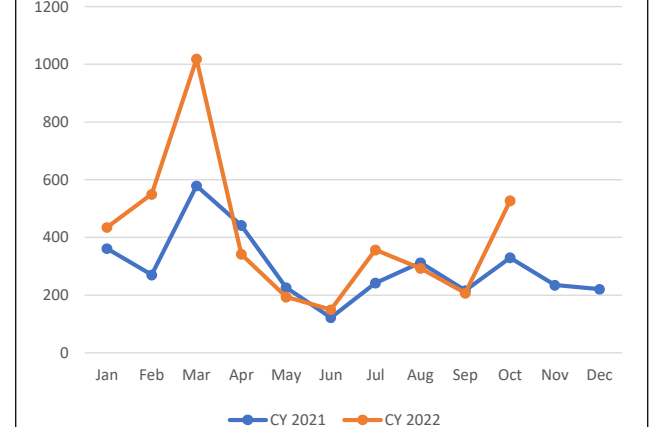
**Public Works Total Garbage & Yard Debris Collections**



**Building Department**

|                               | CY20<br>(12 mos) | CY21<br>(12 mos) | CYTD22<br>(9 mos) |
|-------------------------------|------------------|------------------|-------------------|
| Construction Value Permitted  | \$65 M           | \$108 M          | \$133 m           |
| New Homes Permitted           | 24               | 49               | 41                |
| Short Term Rental Lics Issued | 1,474            | 1,403            | 1,605             |

**Recreation Department Registrations**



# FY23 CAPITAL PROJECTS REPORT

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NOVEMBER 2022



# PHASE 3 DRAINAGE 30<sup>TH</sup>, 36<sup>TH</sup> & 41<sup>ST</sup> AVENUE OUTFALLS



## 30<sup>th</sup> & 36<sup>th</sup> Avenue:

- At 36<sup>th</sup> channel work adjacent to the golf course is complete up to the cart bridge
- At 30<sup>th</sup> work completed up to a point near the road where a pause is necessary to allow coordination with Dominion Energy and the construction of box culverts
- Cart path behind 36<sup>th</sup> is prepped for paving

## 41<sup>st</sup> Avenue:

- Wetland permit (OCRM and USACE) still pending. City has conditional approval from OCRM. All other permits are contingent on the wetland permit.
- City received \$1.4M grant from the SC Office of Resilience from CDBG-MIT funds for construction.
- City received approval for additional \$730,000 to pay for the extension of drainage pipes along the edge of 41<sup>st</sup> Avenue into the marina site.





# COMPREHENSIVE DRAINAGE MASTERPLAN

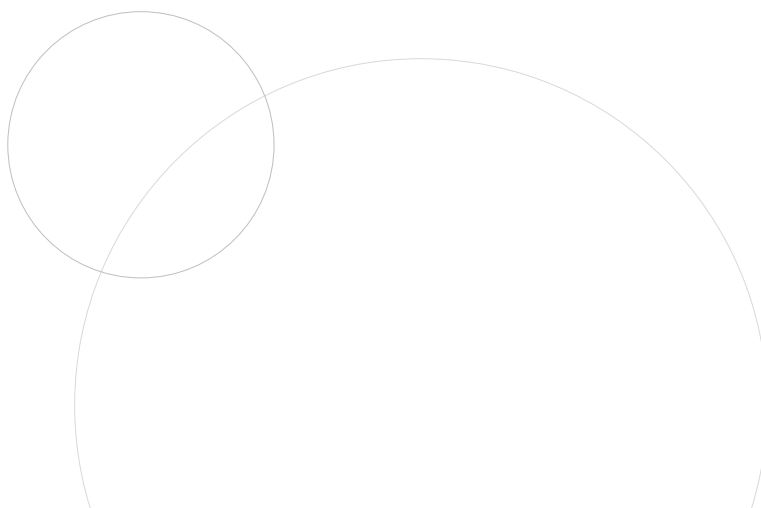
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## Work in Progress and/or Complete:

- D&F met with property owners and city staff regarding development regulations
- D&F has finished the draft report for the phase 4 study area
- D&F has met with City staff regarding the potential for a future capital asset management system to better maintain drainage systems

## Next Steps:

- Develop conceptual solutions for island wide problem areas
- Develop preliminary cost estimates for low priority recommendations
- Develop city-wide development planning tool for stormwater management





# UNDERGROUND UTILITY CONVERSION – 21<sup>ST</sup> & PALM

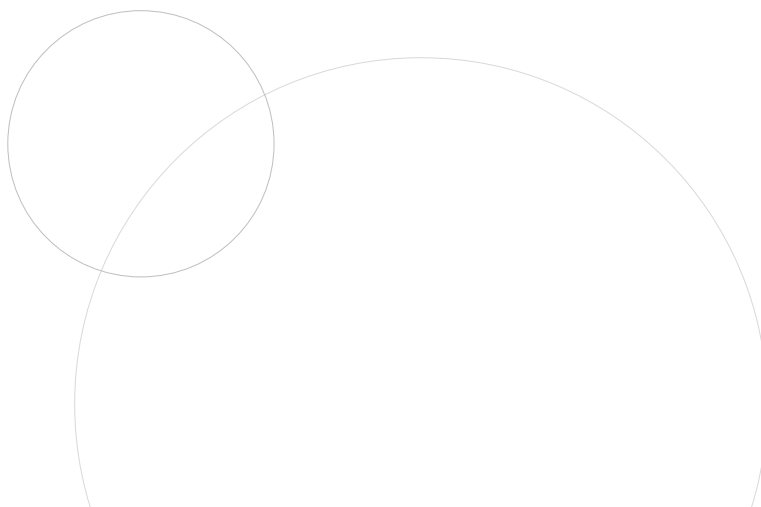
- City executed construction agreement with Dominion Energy
- SCDOT encroachment permit on hand
- Dominion Energy met with representatives from the Methodist Church and expect an executed agreement document the week of November 14<sup>th</sup>
- Still on track for construction this fall.



# Pickle Ball Court Construction & Outdoor Basketball Courts Rehab

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- Council approved award of a contract in September 2022
- Pre-construction meeting held November 1 2022
- Construction to begin – early January 2023
- Completion – Late February, early March 2023



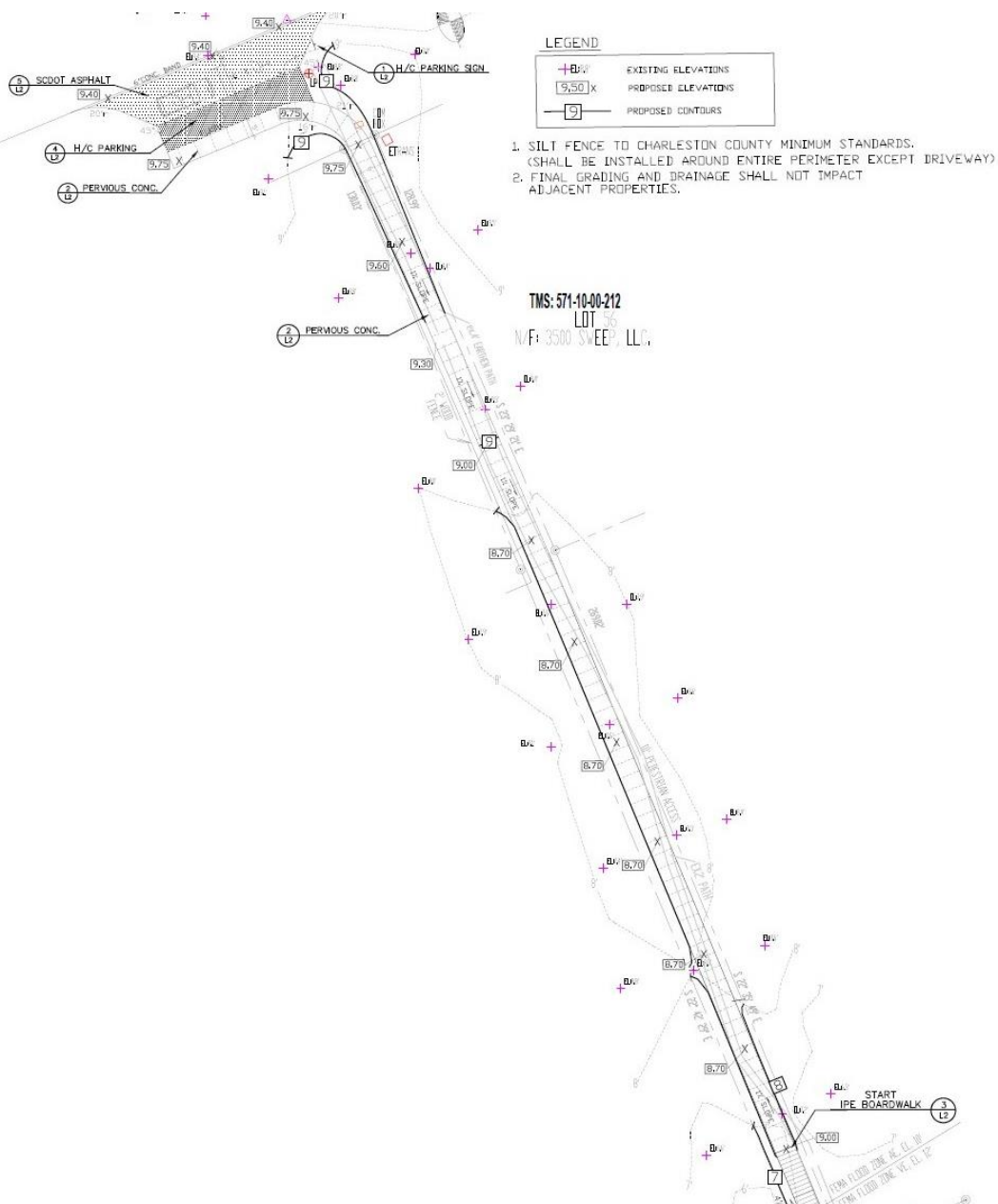




# IOP MARINA PUBLIC DOCK AND GREENSPACE

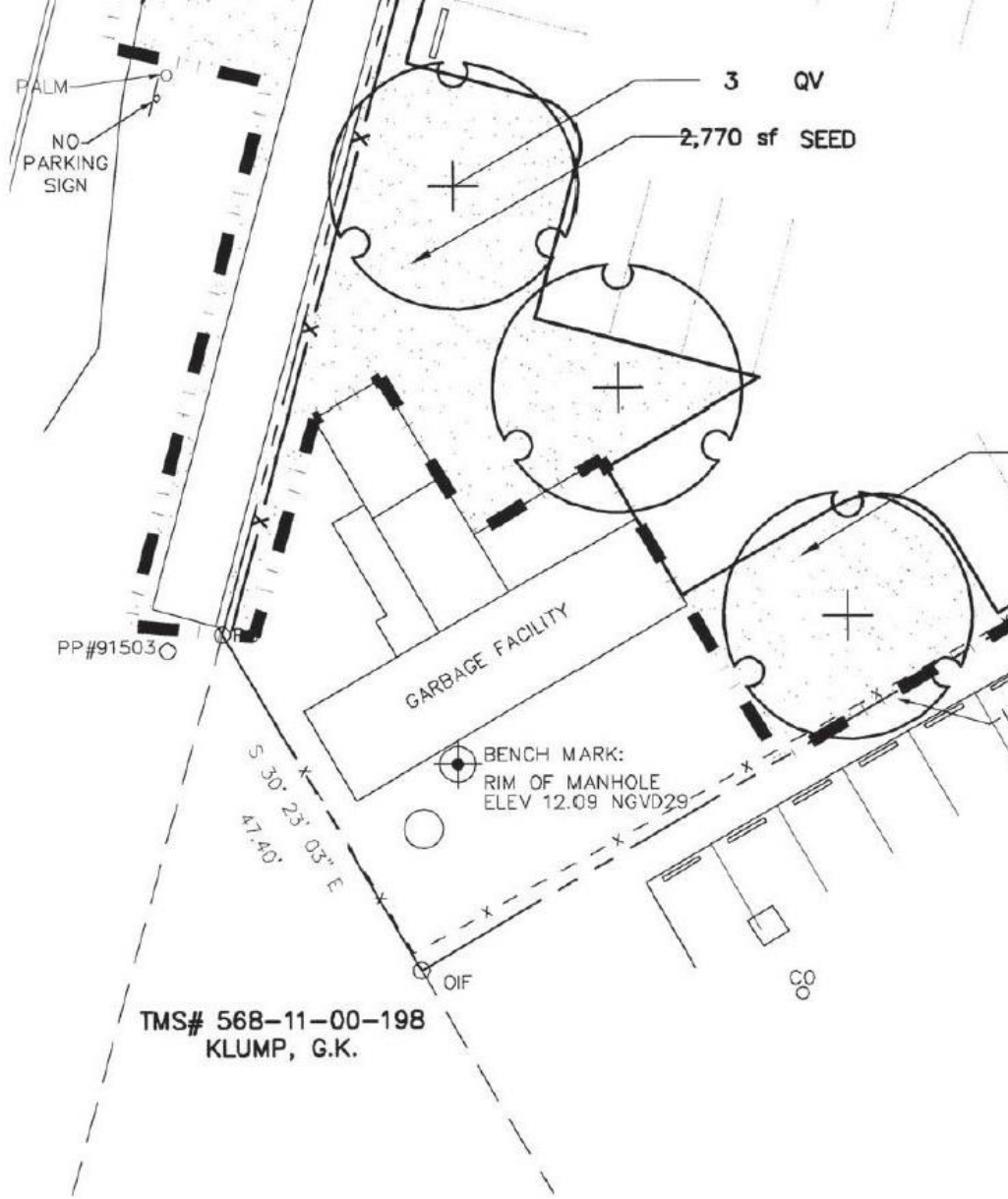
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- City needs to finalize parking layout for the Intracoastal side of the Marina with the marina restaurant. The Real Property Committee met with restaurant representatives and a civil engineer on October 10<sup>th</sup>. Progress on the final design for the greenspace area and walkway is pending on these discussions.
- Contract for bulkhead repairs has been executed and Blutide Marine Construction is ordering materials and preparing to mobilize.
- ATM finalizing the new public dock design specifications for the permit application, expected to be submitted to regulatory agencies by mid-October.
  - Water-based geotechnical borings completed. Land side borings will follow.
- Salmons Dredging completed additional fendering repairs on the restaurant side of the “T” docks.
- Marina tenants have requested that the City pause on repairs to the T dock to discuss alternatives.



\_\_\_\_\_

- Contract executed
- Surveying and layout is complete
- Staff met onsite on Monday, October 31
- Construction expected to begin within the week



## MUNICIPAL COMMERCIAL GARBAGE COMPACTOR

- City executed a contract with Bury's Footers
- Work is underway- foundation has been constructed and walls should begin this week
- Odor control system will be installed after the new enclosure is completed.



# ISLE OF PALMS POLICE DEPARTMENT

## MONTHLY REPORT

### OCTOBER 2022



### SIGNIFICANT DEPARTMENTAL ACTIONS

The Isle of Palms Marine Patrol was presented as an Honorary Plankowner from the USS Frank E. Petersen Jr. U.S. Naval Missile Destroyer ship commissioning for the units work providing security zone coverage.

The department hosted the National Night Out event on October 4th with approximately 300 citizens in attendance.

Incidents of interest in October include 36 arrests, 296 traffic stops, 13 drug related charges, 18 speeding citations and 16 arrests for driving under the influence.

| ACTIVITY SUMMARY                     | OCT<br>2022     | YTD<br>2022 | OCT<br>2021 | YTD<br>2021 |
|--------------------------------------|-----------------|-------------|-------------|-------------|
| Calls for Service                    | 787             | 9684        | 712         | 10000       |
| Incident Reports                     | 82              | 697         | 62          | 572         |
| Traffic Collisions                   | 0               | 94          | 5           | 83          |
| Traffic Stops                        | 296             | 3271        | 199         | 3256        |
| Bicycle Stops                        | 0               | 9           | N/A         | N/A         |
| Golf Cart Stops                      | 20              | 110         | N/A         | N/A         |
| Marine Calls for Service             | 0               | 31          | N/A         | N/A         |
| Arrests                              | 36              | 442         | 43          | 464         |
| State Law Violations                 | 122             | 1457        | 99          | 1196        |
| City Ordinance Violations            | 6               | 52          | 7           | 88          |
| Warning Citations                    | 204             | 2338        | 151         | 2518        |
| Parking Citations                    | 11              | 2850        | 48          | 5960        |
| Isle of Palms Warrants Served        | 2               | 66          | 5           | 75          |
| Criminal Investigations-Cases Opened | 15              | 118         | 12          | 137         |
| Criminal Investigations-Cases Closed | 3               | 41          | 4           | 51          |
| Training Hours                       | 416             | 2863        | 367         | 1910        |
| Livability Cases                     | 0               | 13          | 2           | 24          |
| Coyote Sightings                     | 0               | 47          | 6           | 113         |
| Beach Wheel Chairs Issued            | 3               | 72          | N/A         | N/A         |
| REPORTS BY OFFENSE TYPES             | OCTOBER<br>2022 | YTD         |             |             |
| DUI                                  | 16              | 108         |             |             |
| Other Alcohol Offense                | 8               | 86          |             |             |
| Arson/Suspicious Fire                | 0               | 0           |             |             |
| Rape/Sexual Assault                  | 0               | 0           |             |             |
| Assault                              | 3               | 33          |             |             |
| Indecent Exposure                    | 0               | 0           |             |             |
| Harassment                           | 1               | 4           |             |             |
| Drug Incident                        | 18              | 164         |             |             |
| Homicide/Manslaughter                | 0               | 0           |             |             |
| Traffic                              | 18              | 218         |             |             |
| DUS                                  | 6               | 83          |             |             |
| Robbery                              | 0               | 0           |             |             |
| Burglary                             | 0               | 4           |             |             |
| Theft from Motor Vehicle             | 0               | 2           |             |             |
| Motor Vehicle Theft                  | 0               | 2           |             |             |
| Larceny                              | 2               | 48          |             |             |
| Fraud                                | 1               | 35          |             |             |
| Suicide (Actual or Attempted)        | 1               | 3           |             |             |
| Vandalism                            | 1               | 17          |             |             |
| Weapon Law Violations                | 0               | 9           |             |             |
| All Other Offenses                   | 20              | 220         |             |             |
| <b>TOTAL</b>                         | <b>95</b>       | <b>1036</b> |             |             |

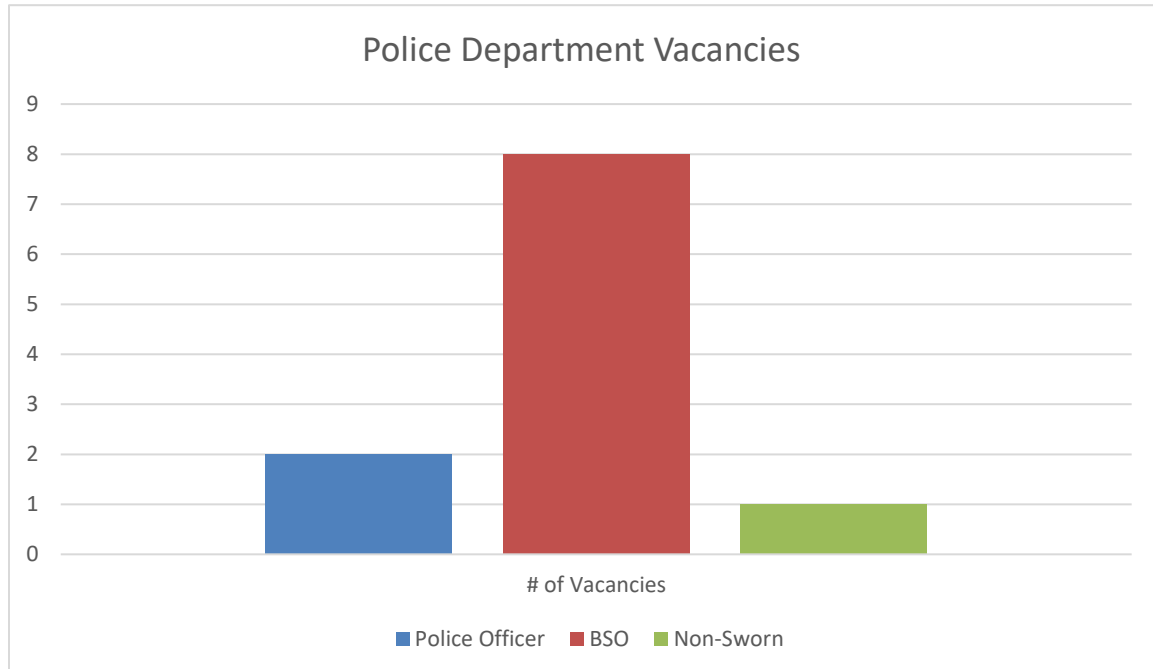
| CHARGES  | OCT<br>2022 | YTD<br>2022 | OCT<br>2021 | YTD<br>2021 |
|--|-------------|-------------|-------------|-------------|
| Assault  | 0           | 4           | 3           | 9           |
| Domestic Violence  | 0           | 7           | 0           | 3           |
| Public Disorderly  | 2           | 35          | 6           | 64          |
| Burglary   | 0           | 0           | 0           | 0           |
| Possession of Stolen Vehicle   | 0           | 0           | 0           | 0           |
| Grand Larceny  | 0           | 1           | 0           | 1           |
| All Other Larceny  | 0           | 1           | 0           | 9           |
| Fraud  | 1           | 1           | 0           | 3           |
| Gun Violation  | 0           | 12          | 2           | 14          |
| Drug Violations/Sale/Manufacture/<br>Distribution/Etc.                           | 1           | 17          | 2           | 16          |
| Possession of Controlled Substance   | 0           | 9           | 0           | 7           |
| Other Drug Possession Methamphetamine/<br>Cocaine/Cocaine Base/Ecstasy/MDMA/Etc. | 0           | 13          | 0           | 16          |
| Simple Possession of Marijuana/Possession 1<br>oz. or less                       | 7           | 81          | 5           | 97          |
| Drug Equipment Violation   | 5           | 45          | 4           | 31          |
| Vandalism/Damage to Property   | 0           | 1           | 0           | 2           |
| Driving Under Suspension   | 6           | 90          | 14          | 90          |
| Driving Under Influence  | 16          | 105         | 4           | 76          |
| Other Alcohol Violation  | 9           | 89          | 10          | 136         |
| Speeding   | 18          | 259         | 15          | 153         |
| Other Traffic Related  | 49          | 725         | 37          | 532         |
| Golf Cart Violation  | 8           | 21          | 2           | 6           |
| Moped Violation  | 0           | 0           | 0           | 0           |
| Marine Violation   | 0           | 2           | N/A         | N/A         |
| Resisting/Hindering/Assaulting Public Official or<br>Police Officer              | 1           | 8           | 1           | 12          |
| False Information to Police  | 0           | 2           | 0           | 8           |
| Failure to Stop for Police/Evade/Elude   | 0           | 2           | 0           | 3           |
| Animal Violation   | 0           | 6           | 0           | 12          |
| Noise Violation  | 0           | 1           | 0           | 8           |
| Littering  | 1           | 2           | 0           | 2           |
| Indecent Exposure  | 0           | 0           | 0           | 0           |
| Business License   | 6           | 8           | 0           | 24          |
| All Other Charges  | 0           | 16          | 6           | 26          |
| <b>TOTAL</b>   | <b>130</b>  | <b>1563</b> | <b>111</b>  | <b>1360</b> |



# ISLE OF PALMS POLICE DEPARTMENT

## MONTHLY REPORT

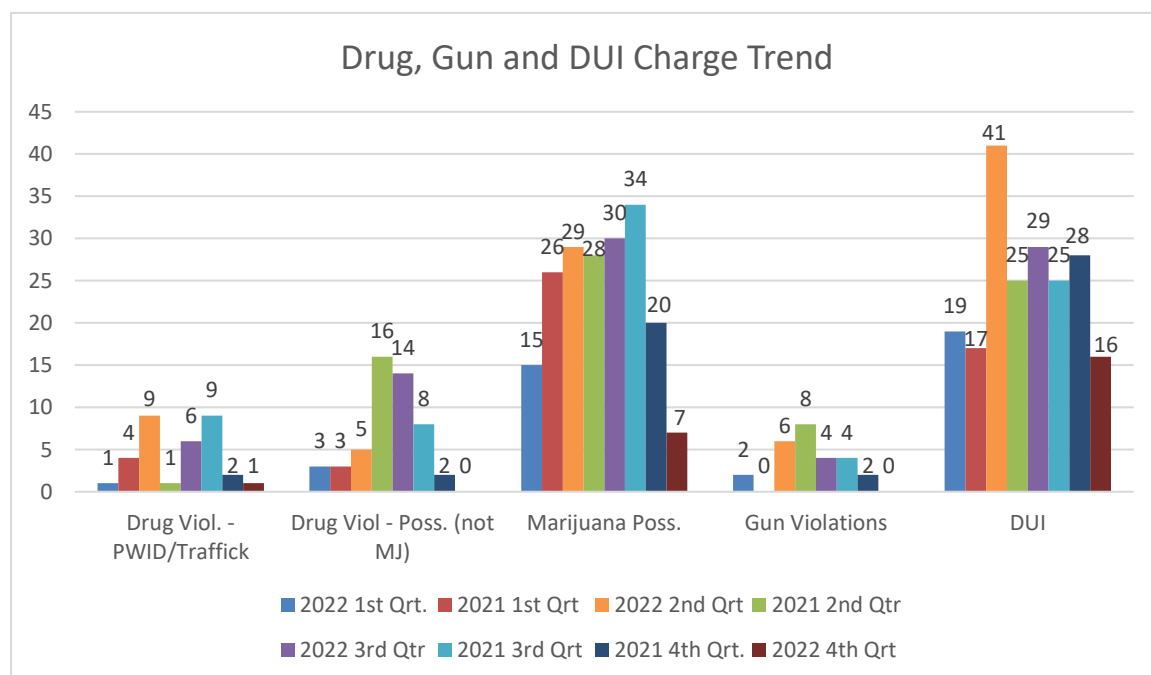
### OCTOBER 2022



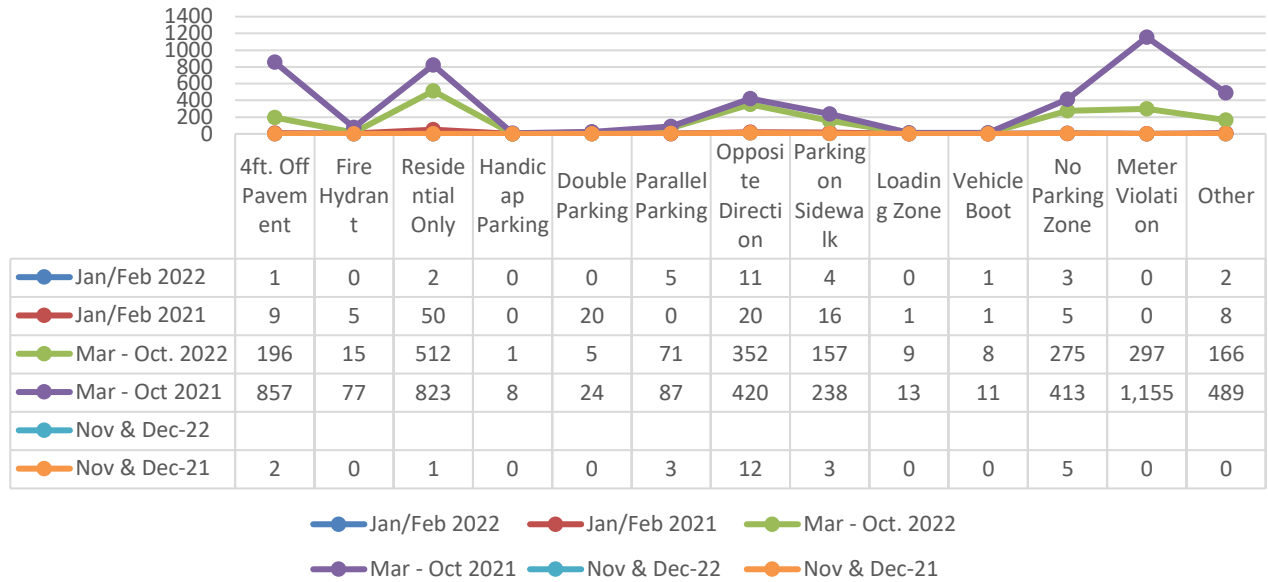
**Sworn Vacancies – 9 % (2 Police Officer) (1 in Academy, 1 in Pre-Academy)**

**Beach Service Officer Vacancies – 80% (8 Beach Services)**

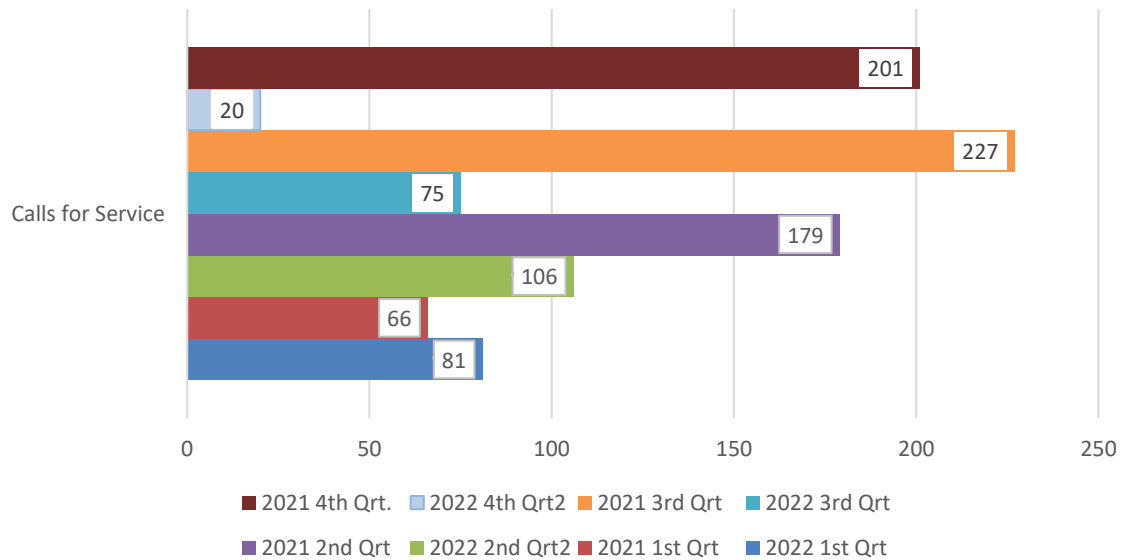
**Non-Sworn Vacancies – 12.5% (1 Part Time Code Enforcement)**



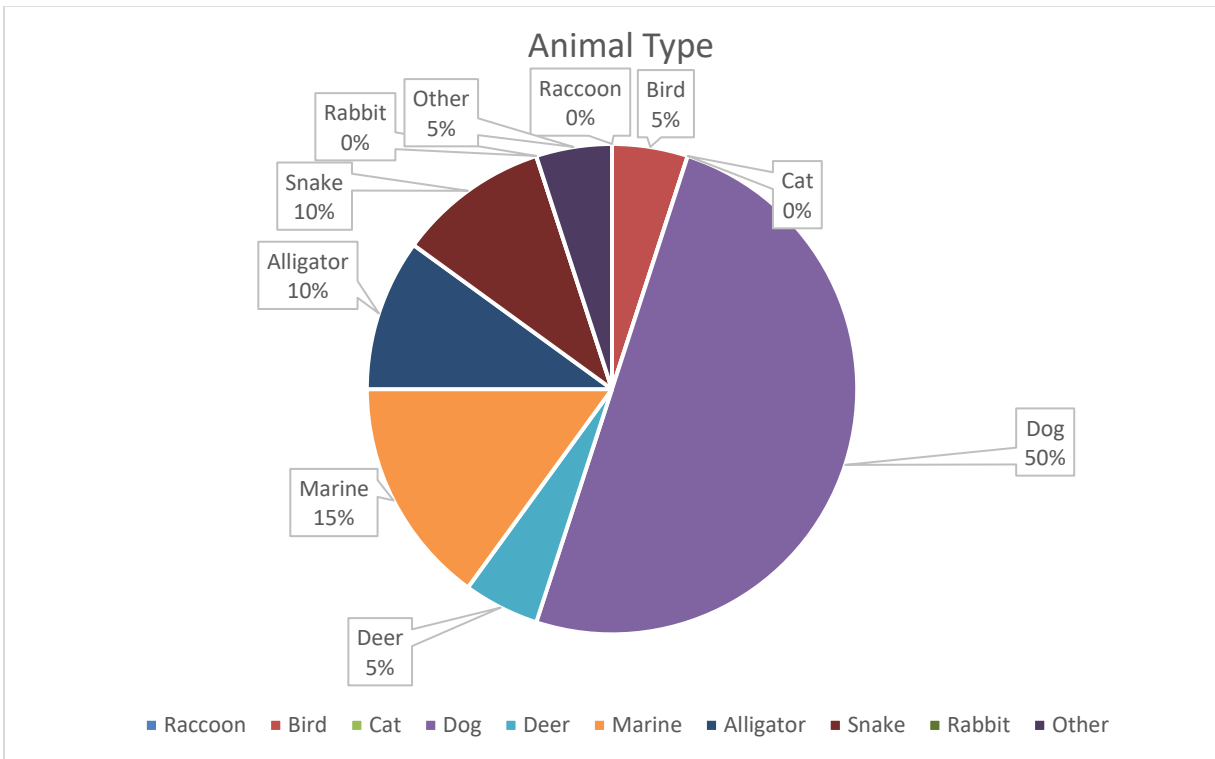
### Parking Citations by Violation



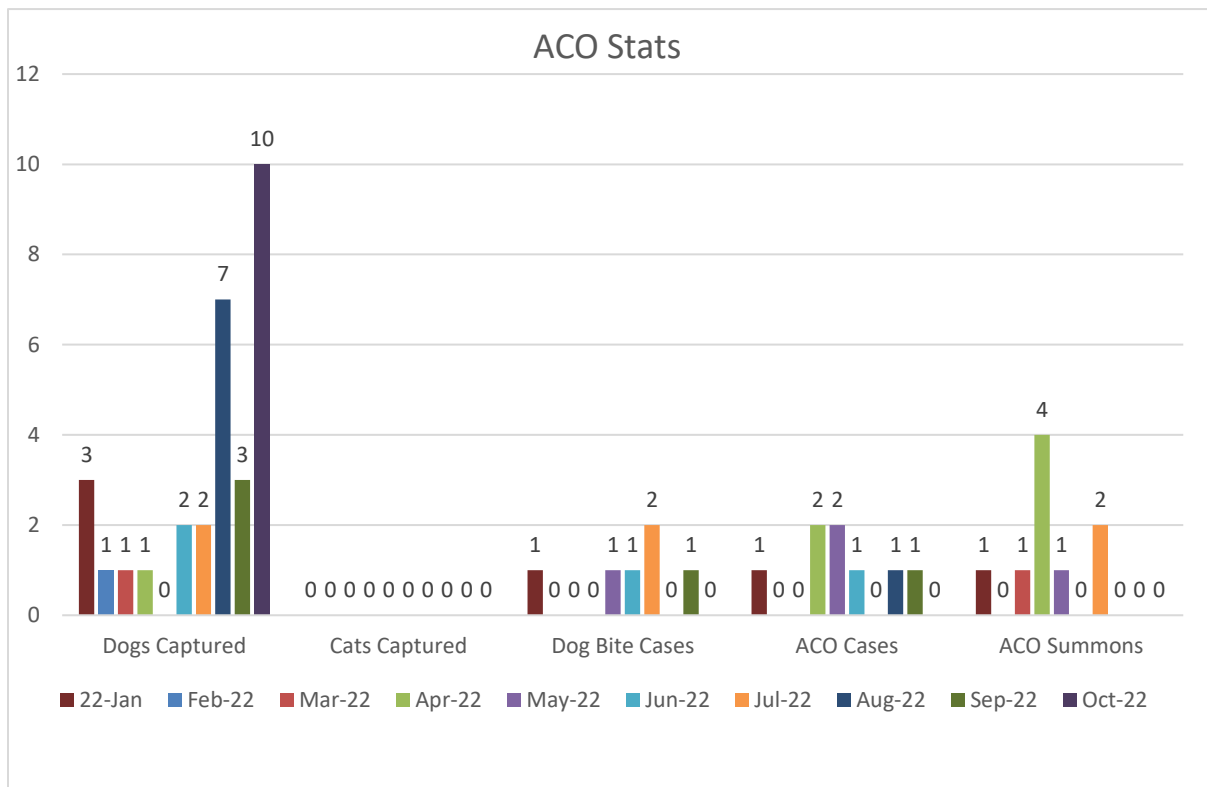
### Animal Control Calls for Service

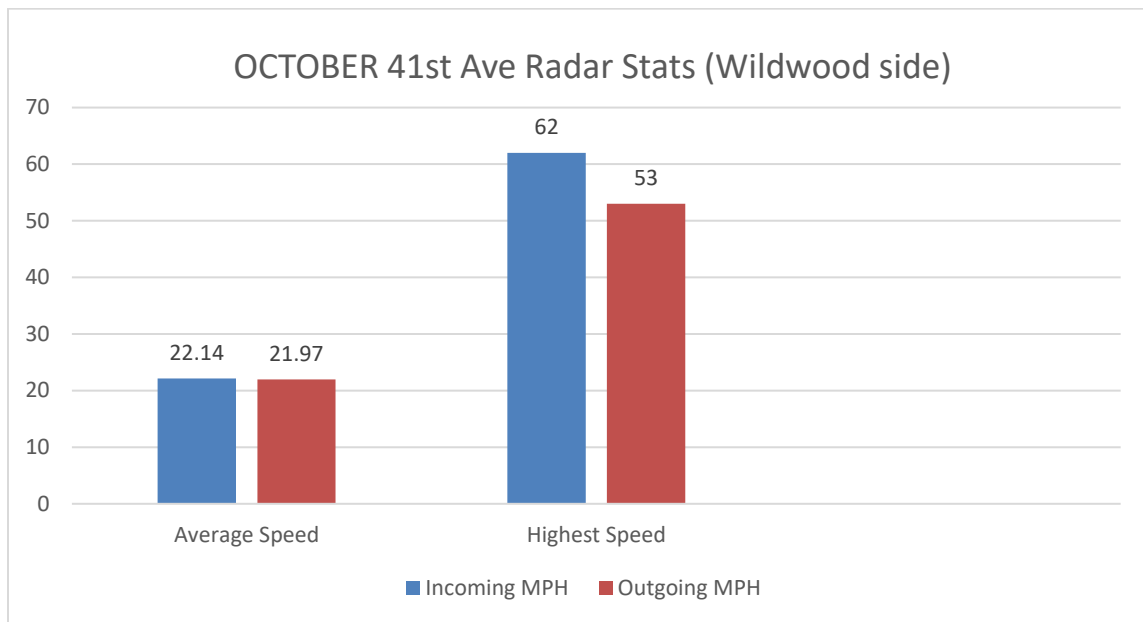


## ANIMAL CONTROL ANIMAL TYPE – OCTOBER



## Animal Control Officer Stats

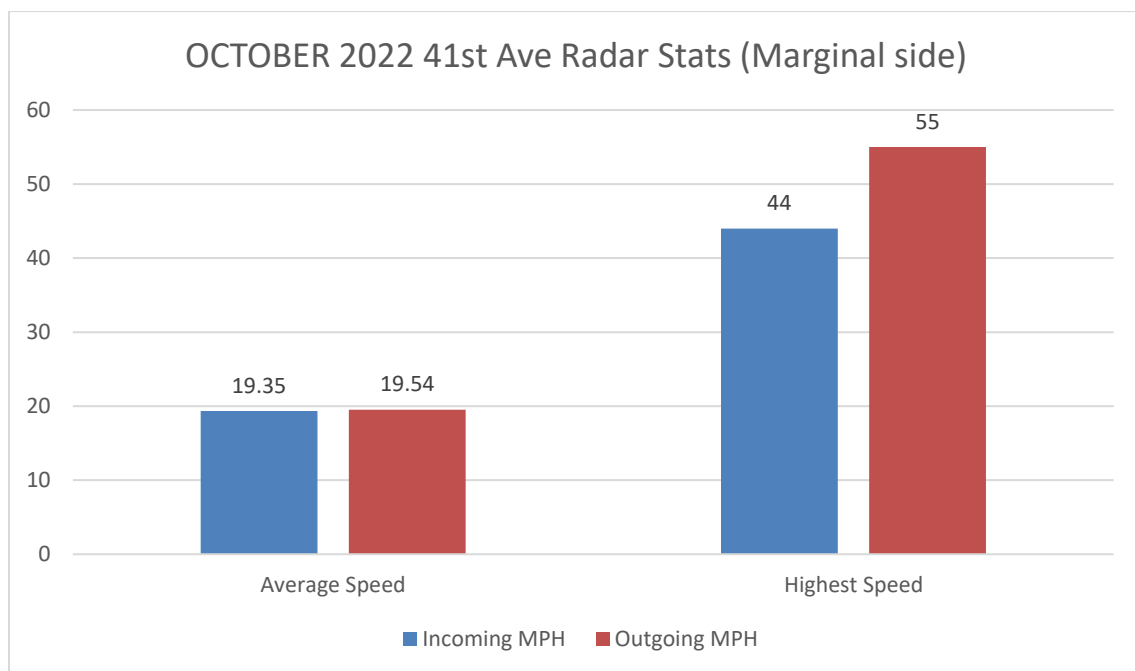




\*Busiest day of the month: October 14th (incoming and outgoing)

\*Busiest half hour:

- October 14th - 17:30 pm - 18:00 pm, 64 vehicles (incoming)
- October 8th - 11:30 am - 12:00 pm, 61 vehicles (outgoing)



\*Busiest days of the month: October 8<sup>th</sup> (incoming and outgoing)

\*Busiest half hour:

- October 8<sup>th</sup> - 15:00 pm – 15:30 pm, 43 vehicles (incoming)
- October 8<sup>th</sup> - 12:00 pm – 12:30 pm, 41 vehicles (outgoing)

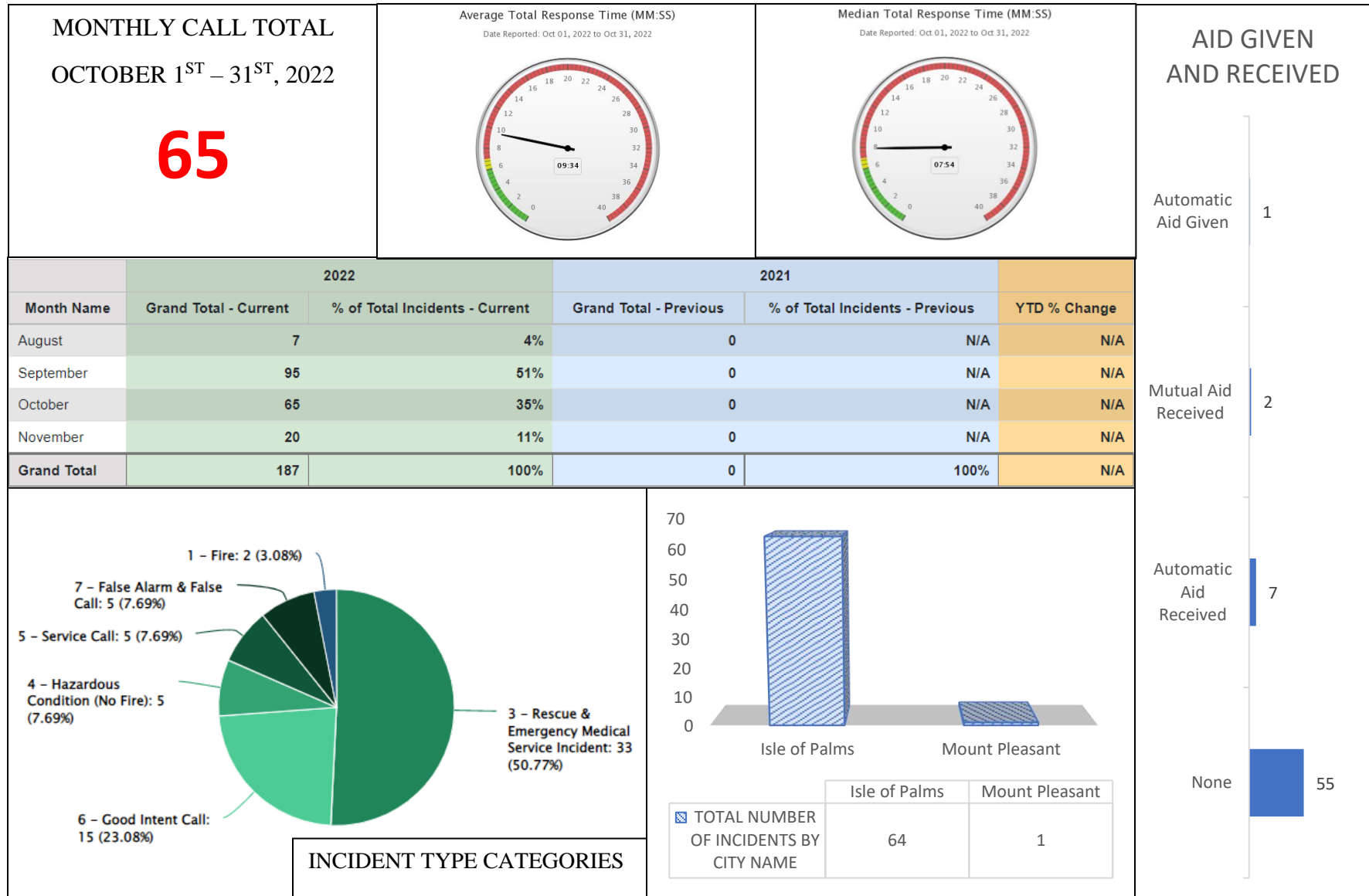




# CITY OF ISLE OF PALMS FIRE & RESCUE

## MONTHLY ANALYTICS DASHBOARD

OCTOBER 2022

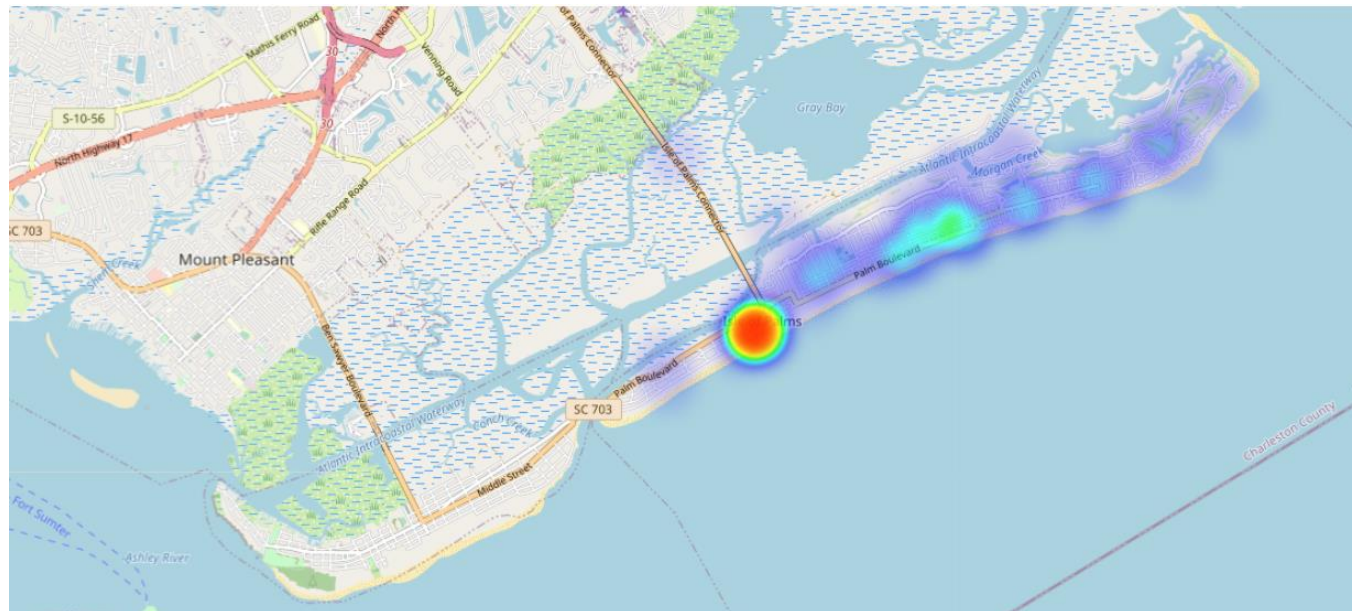
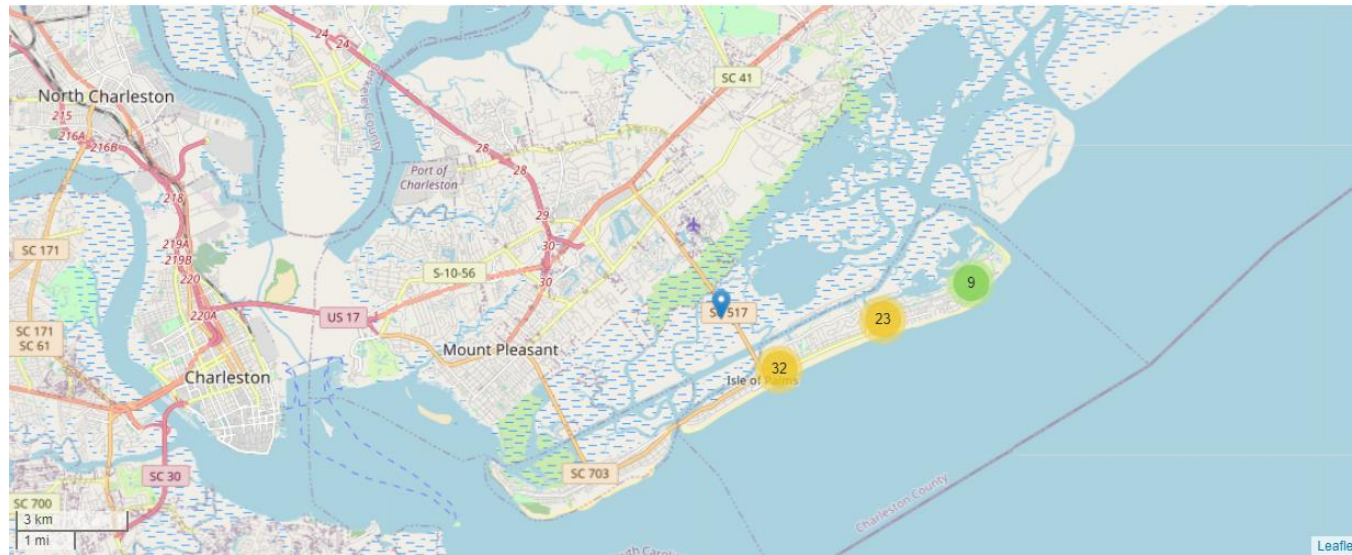




# CITY OF ISLE OF PALMS FIRE & RESCUE

## MONTHLY ANALYTICS DASHBOARD

OCTOBER 2022





# CITY OF ISLE OF PALMS FIRE & RESCUE

## MONTHLY ANALYTICS DASHBOARD

OCTOBER 2022

| Incident Type Category                          | Jan      | Feb      | Mar      | Apr      | May      | Jun      | Jul      | Aug      | Sep       | Oct       | Nov       | Grand Total - Current | % of Total Incidents - Current | Grand Total - Previous | % of Total Incidents - Previous | YTD % Change |
|---|----------|----------|----------|----------|----------|----------|----------|----------|-----------|-----------|-----------|-----------------------|--------------------------------|------------------------|---------------------------------|--------------|
| 1 - Fire  | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 3         | 2         | 0         | 5                     | 3%                             | 0                      | N/A                             | N/A          |
| 3 - Rescue & Emergency Medical Service Incident | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 1        | 43        | 33        | 7         | 84                    | 47%                            | 0                      | N/A                             | N/A          |
| 4 - Hazardous Condition (No Fire)               | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 6         | 5         | 2         | 13                    | 7%                             | 0                      | N/A                             | N/A          |
| 5 - Service Call                                | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 2        | 12        | 5         | 2         | 21                    | 12%                            | 0                      | N/A                             | N/A          |
| 6 - Good Intent Call                            | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 1        | 15        | 15        | 2         | 33                    | 19%                            | 0                      | N/A                             | N/A          |
| 7 - False Alarm & False Call                    | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 3        | 11        | 5         | 1         | 20                    | 11%                            | 0                      | N/A                             | N/A          |
| 8 - Severe Weather & Natural Disaster           | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 1         | 0         | 0         | 1                     | 1%                             | 0                      | N/A                             | N/A          |
| 9 - Special Incident Type                       | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 0        | 1         | 0         | 0         | 1                     | 1%                             | 0                      | N/A                             | N/A          |
| <b>Grand Total</b>                              | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>7</b> | <b>92</b> | <b>65</b> | <b>14</b> | <b>178</b>            | <b>100%</b>                    | <b>0</b>               | <b>100%</b>                     | <b>N/A</b>   |



# CITY OF ISLE OF PALMS FIRE & RESCUE

## MONTHLY ANALYTICS DASHBOARD

### OCTOBER 2022

| Average Performance Summary by Unit Category and Type |                              |       |          |          |                |          |                     |                    |
|---|------------------------------|-------|----------|----------|----------------|----------|---------------------|--------------------|
| Oct 01, 2022 to Oct 31, 2022                          |                              |       |          |          |                |          |                     |                    |
| Unit Type Category                                    | Unit Type                    | Count | Turnout  | Travel   | Total Response | Scene    | Total Time to Clear | Total Time on Task |
| Ground Fire Suppression                               | Engine                       | 31    | 00:01:07 | 00:05:15 | 00:06:14       | 00:26:27 | 00:29:21            | 00:29:05           |
|   | Quint                        | 50    | 00:02:02 | 00:05:59 | 00:08:08       | 00:18:03 | 00:22:31            | 00:21:14           |
|   | Truck or aerial              | 6     | (blank)  | (blank)  | 00:03:34       | 00:37:01 | 00:40:36            | 00:40:36           |
| Marine Equipment                                      | Fire boat with pump          | 1     | 00:00:00 | 00:05:37 | 00:05:37       | 00:03:33 | 00:09:10            | 00:09:10           |
|   | Marine equipment, other      | 2     | 00:00:00 | 00:00:00 | 00:00:00       | 00:21:00 | 00:21:10            | 00:21:10           |
| Medical & Rescue Unit                                 | Medical & rescue unit, other | 9     | 00:01:33 | 00:03:17 | 00:04:59       | 00:38:21 | 00:29:30            | 00:29:30           |
|   | Rescue unit                  | 6     | 00:00:00 | (blank)  | 00:17:04       | 00:23:27 | 00:30:42            | 00:28:35           |
| Other   | Chief officer car            | 40    | 00:01:46 | 00:06:56 | 00:08:12       | 00:17:56 | 00:23:45            | 00:23:15           |
|   | Other apparatus/resource     | 1     | 00:00:00 | 00:03:00 | 00:03:00       | 00:33:49 | 00:36:49            | 00:36:49           |
|   | Privately owned vehicle      | 1     | (blank)  | (blank)  | (blank)        | (blank)  | 00:03:51            | 00:03:51           |

| 90th Percentile Performance Summary by Unit Category and Type |                              |       |          |          |                |          |                     |                    |
|---|------------------------------|-------|----------|----------|----------------|----------|---------------------|--------------------|
| Oct 01, 2022 to Oct 31, 2022                                  |                              |       |          |          |                |          |                     |                    |
| Unit Type Category  | Unit Type                    | Count | Turnout  | Travel   | Total Response | Scene    | Total Time to Clear | Total Time on Task |
| Ground Fire Suppression                                       | Engine                       | 31    | 00:02:49 | 00:09:30 | 00:10:52       | 00:47:22 | 00:51:01            | 00:51:01           |
|   | Quint                        | 50    | 00:04:48 | 00:11:36 | 00:17:01       | 00:36:10 | 00:44:03            | 00:39:55           |
|   | Truck or aerial              | 6     | (blank)  | (blank)  | 00:10:15       | 02:00:22 | 02:01:37            | 02:01:37           |
| Marine Equipment  | Fire boat with pump          | 1     | 00:00:00 | 00:05:37 | 00:05:37       | 00:03:33 | 00:09:10            | 00:09:10           |
|   | Marine equipment, other      | 2     | 00:00:00 | 00:00:00 | 00:00:00       | 00:21:00 | 00:21:21            | 00:21:21           |
| Medical & Rescue Unit   | Medical & rescue unit, other | 9     | 00:04:31 | 00:05:52 | 00:06:00       | 01:27:10 | 01:31:45            | 01:31:45           |
|   | Rescue unit                  | 6     | 00:00:00 | (blank)  | 00:17:04       | 00:23:27 | 00:40:31            | 00:40:31           |
| Other   | Chief officer car            | 40    | 00:04:40 | 00:11:30 | 00:13:58       | 00:34:58 | 00:40:27            | 00:40:27           |
|   | Other apparatus/resource     | 1     | 00:00:00 | 00:03:00 | 00:03:00       | 00:33:49 | 00:36:49            | 00:36:49           |
|   | Privately owned vehicle      | 1     | (blank)  | (blank)  | (blank)        | (blank)  | 00:03:51            | 00:03:51           |

Unit Average Turnout Time (Seconds)  
Oct 01, 2022 to Oct 31, 2022



Unit 90th Percentile Turnout Time (Seconds)  
Oct 01, 2022 to Oct 31, 2022



Percentage of Unit Total Response Times Under 09:00 Minutes  
Oct 01, 2022 to Oct 31, 2022



Unit Average Total Response Time (HH-MM-SS)  
Oct 01, 2022 to Oct 31, 2022





# CITY OF ISLE OF PALMS FIRE & RESCUE

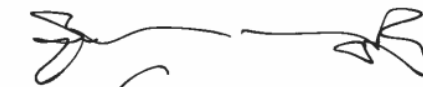
## MONTHLY ANALYTICS DASHBOARD

OCTOBER 2022

We give back to you, O God,  
those whom you gave to us.  
You did not lose them when You gave  
them to us, and we do not lose them  
by their return to you. Your dear Son  
has taught us that life is eternal and  
Love can not die. So death is only a  
horizon and a horizon is only the limit  
of our sight. Open our eyes to see more  
clearly and draw us closer to you that  
we may know that we are nearer to our  
loved ones, who are with You. You have  
told us that You are preparing a place for  
us; prepare us also for that happy place,  
that where you are, we may also be always,  
O dear Lord of life and death.

- William Penn

ISLE OF PALMS  
FIRE DEPARTMENT:



Thank You  
from  
The Family  
of  
Henry "Doc" Miller.  
Summerhouse #508  
IOP

December 17, 2021

I apologize for such a  
delay in thanking you  
for all your care and  
efforts trying to save  
the life of my husband.  
With deep gratitude,  
Nickie Miller

♡  
Crystal

Crystal Fenton

crystalfenton.yoga@gmail.com

cpa12@Instagram

ycogajournal.com/practice/yoga-sequences/  
healing-sequence-for-first-responders

Hello IOP FD Friends!

Thank you so much for the shirt & chat  
last week! I LOVE it!

As a refresher, I teach yoga for  
firefighters (FDNY, currently)  
and would love to set up sessions  
with your department ~ additionally,  
my friend / FDNY firefighter travels / works  
with 24x human performance daily  
tactical training sessions with departments  
across the country, which would be great  
to combine for training! A giant thank  
you + hope to hear from you soon!

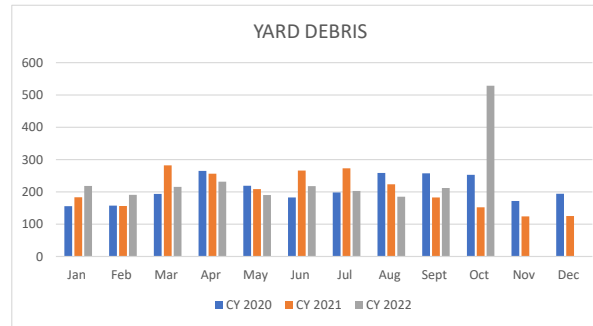
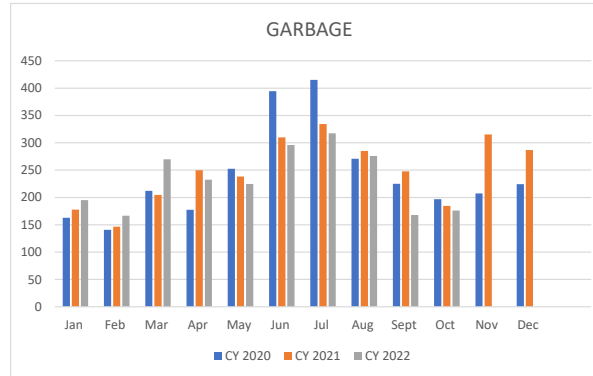


City of Isle of Palms, SC  
Public Works Department - October 2022

|         | CY 2020 | CY 2021 | CY 2022 |
|---------|---------|---------|---------|
| Column1 |         |         |         |
| Jan     | 162.77  | 177.84  | 195.16  |
| Feb     | 140.66  | 146.48  | 166.74  |
| Mar     | 212.04  | 204.6   | 269.88  |
| Apr     | 177.52  | 249.86  | 232.29  |
| May     | 252.56  | 238.23  | 224.49  |
| Jun     | 394.38  | 309.71  | 295.83  |
| Jul     | 415.12  | 334.17  | 317.47  |
| Aug     | 270.71  | 285.21  | 275.99  |
| Sept    | 224.87  | 247.76  | 167.91  |
| Oct     | 196.94  | 184.63  | 175.99  |
| Nov     | 207.44  | 315.31  |         |
| Dec     | 224.45  | 286.85  |         |

|         | CY 2020 | CY 2021 | CY 2022 |
|---------|---------|---------|---------|
| Column1 |         |         |         |
| Jan     | 155.93  | 183.07  | 218.4   |
| Feb     | 157.44  | 156.06  | 190.63  |
| Mar     | 193.74  | 282.37  | 215.58  |
| Apr     | 265.04  | 256.07  | 231.64  |
| May     | 218.67  | 208.32  | 190.02  |
| Jun     | 182.49  | 266.23  | 217.88  |
| Jul     | 198.07  | 273.08  | 202.64  |
| Aug     | 258.37  | 223.64  | 184.78  |
| Sept    | 257.64  | 182.96  | 212.11  |
| Oct     | 252.81  | 152.16  | 528.77  |
| Nov     | 171.54  | 124.04  |         |
| Dec     | 194.08  | 125.14  |         |

Hurricane Ian



General duties

Sanitation:

19.67 misc. waste  
was transported to Palmetto Commerce Pkwy. \*\*

|                      |              |  |                        |
|----------------------|--------------|--|------------------------|
| Fund 10 GENERAL FUND |              |  |                        |
| 10/01/2022           | 10-4620.5017 | VEHICLE MAINTENANCE                      | BEG. BALANCE 43,030.29 |
| 10/03/2022           | AP INV       | RED LAMP AND STUDS                       | 59.99 43,090.28        |
| 10/03/2022           | AP INV       | TOWING 2014 MACK GRANITE                 | 450.00 43,540.28       |
| 10/13/2022           | AP INV       | FUEL FILTERS PW22                        | 135.76 43,676.04       |
| 10/13/2022           | AP INV       | SIDE ARMS AND BAR FOR FLATBED            | 864.78 44,540.82       |
| 10/13/2022           | AP INV       | WELDING FOR PUBLIC WORKS VEHICLE REPAIRS | 500.00 45,040.82       |
| 10/13/2022           | AP INV       | WELDING FOR PUBLIC WORKS VEHICLE REPAIRS | 1,500.00 46,540.82     |
| 10/14/2022           | AP INV       | 2019 RAM OIL CHANGE & BRAKE SERVICE -    | 321.94 46,862.76       |
| 10/25/2022           | AP INV       | PW-26 2014 MACK - REPAIRED BROKEN WIRE   | 347.65 47,210.41       |
| 10/25/2022           | AP INV       | IT14G - WATER PUMP & GASKET              | 455.90 47,666.31       |
| 10/28/2022           | AP INV       | CREDIT FOR GASKET PUMP RETURN            | - 34.94 47,631.37      |
| 10/31/2022           | 10-4620.5017 | END BALANCE                              | 4,636.02 47,631.37     |



# **RECREATION DEPARTMENT MONTHLY REPORT October 2022**

STAFF:     *Vacant*, Recreation Director  
              Karrie Ferrell, Assistant Director (programs)  
              Aaron Sweet, Recreation Supervisor (athletics)  
              *Vacant*, Parks & Grounds Supervisor  
              Jenea Taylor, Recreation Supervisor (special events)  
              Kelsey Marsh, Recreation Specialist  
              Joshua Key, Parks & Facilities Specialist

## **ATHLETICS**

Aaron Sweet

### **Adult Athletics**

#### **Adult Fall 6 vs. 6 Soccer**

There are a total of 7 teams, (84 players total) playing in the fall league. The league fees were \$250 per team. At the conclusion of the season the regular season winners will receive a plaque trophy and the tournament winners will receive a trophy cup.

#### **Adult Fall Table Tennis Singles League**

A total of 8 players are playing in the fall league. The league fees were \$10 per player. A double elimination tournament will be held in November for all participants.

#### **Adult Fall 3 on 3 Basketball**

Registration will open in January for the Spring 2023 league.

#### **Adult Fall Pickleball Social League**

A total of 29 participants registered for the league. The fees were \$10 per person. Pickleball nets are set up for league play each week. The league finished on October 28. Registration for the Spring 2023 league will open in January.

## **Youth Sports**

### **Youth Soccer (Ages 3-12)**

There were a total of 190 children who played fall soccer for the IOP Recreation Department with ages ranging from 3-12years old. Games are scheduled to finish by the end of October. At the conclusion of the season all participants will receive participation medals.

### **Winter 2022 Youth Basketball**

Youth basketball registration started on October 11 for IOP/SI residents and Non-Residents started to register on October 18. Registration for youth basketball will conclude on November 18. IOP residents registration fees are \$30 per child and non-residents fees are \$55 per child. As of October 24, we have a total of 116 children registered for ages 5-14yrs old.

### **Miscellaneous/Grounds**

Due to staffing issues the recreation supervisor has been assisting in field set up, lining, marking and moving of soccer goals on a daily/weekly basis.

## **PROGRAMS AND CLASSES**

Karrie Ferrell

**Suspension Training:** Class is held on Mondays, Wednesdays & Fridays at 8:00 a.m. Participants are required to make reservations before attending classes. Class is held under the picnic shelter but has utilized the gymnasium on rainy and cold days. Instructor, Pat Boyd

**Core Strength:** Classes are held Mondays, Tuesdays & Thursdays at 8:30 a.m. in the High Tide/Low Tide room. Angela Reinhardt, Instructor.



**Barre:** Class is held on Fridays at 8:30 a.m. Barre is \$10 per class, \$32 for the month. Instructor, Angela Reinhardt

### **Blooming Artist**

Holiday Art workshops will be held in December for K-2<sup>nd</sup> graders and 3<sup>rd</sup> – 5<sup>th</sup> graders. The holiday art time will be held on Thursday, December 8. The January Art session will start on Thursday, January 19. More information will be announced in the upcoming Activity Guide.  
Instructor, Marie Johnson.

### **Dog Obedience**

Kinderpuppy - Mondays at 5:30 p.m. started October 17, class was added due to puppy training demand.

Kinderpuppy – Mondays, at 6:30 p.m.

Kinderpuppy – Mondays, at 7:30 p.m.

The next session of classes start Monday, November 14 – December 19. All classes are full with eight (8) students enrolled. Instructors, Susan Marett and Jennifer Parks

### **Gymnastics**

Session: October 25 – December 6

3:30 p.m. ages 3-5 years, full with twelve (12) students

4:15 p.m. ages 5 & up, full with fourteen (14) students

5:00 p.m. Cheernastics, ages 4 & up, combo tumbling and cheer class, full with twelve (12) students

Instructor, Kaylie Penninger

### **IOP Kids**

Eight (8) students are enrolled in the class Monday – Friday. IOP Kids follows the Charleston County School Calendar. Instructor, Cathy Adams

### **Line Dancing**

Class is held on Thursday at 9:30 a.m. for intermediate dances and 10:30 a.m. for beginners. Class is held in the Magnolia/Palmetto Room.

Instructor, Patricia Leonard.

### **Little Lotus Yoga**

Little Lotus Yoga is held on Tuesdays during the school year at 12:00 p.m. – 12:45 p.m. The class has four (4 ) students enrolled. Instructor, Jennifer Rogers.

### **Mahjongg**

A group of ladies meet in the lobby to play mahjongg. The social group gathers on Mondays from 12:00 p.m. – 3:00 p.m.

**Meditation Group** Meditation is held on Thursdays at 8:00 a.m. and 9:00 a.m. The 8:00 class is held at the IOP Public Dock and the 9:00 class is held under the trees at the Recreation Center. Both classes will be free and open to the community. Meditation led by Susan Boruff.

**Mini Minnows**

Mini Minnows is held on Mondays, Wednesdays and Fridays from 12:00 p.m. – 3:00 p.m. Five (5) students are enrolled in the class. Instructor, Cathy Adams.

**Over 50 Fitness**

Class is held on Tuesdays & Thursdays from 2:30 p.m. – 3:30 p.m. Instructor, Judy Fischer.

**Over 50 Yoga**

Class is held on Mondays & Wednesdays from 1:45pm – 2:45pm. Instructor, Judy Fischer.

**Senior Exercise** Class is held Monday & Wednesday from 3:00 p.m. – 4:00 p.m. Instructor, Judy Fischer.

**Yin Yoga**

Yin Yoga is a slow flow relaxation class. The class is 75 minutes and \$12 drop-in fee to attend. Instructor, Kathy Berry.

**Tae Kwon Do**

Youth and family classes meet on Mondays at 6:30 p.m. Ten (10) students are enrolled. Adult open belt classes meet Wednesday evenings at 6:30 p.m. and Saturday mornings at 9:00 a.m. Sixteen (16) adults are enrolled. Tae Kwon Do will hold a Black Belt Testing on Saturday, November 5 from 9:00a.m. – 12:00 p.m. approximately 55 students attended the event.  
Instructor, Dr. Jack Emmel

**Tennis Lessons, Youth**

Classes are held Tuesday and Friday afternoons at 3:30 p.m., 4:00 p.m., 5:00 p.m. and 6:00 p.m.  
Instructor, Corinne Enright.

**Tennis Lessons, Adult**

Adult lessons are held on Tuesdays and Thursdays at 8:30 – 9:30 a.m. Instructor Corinne Enright

**Pickleball Lessons**

Fall pickleball lessons are held on Monday and Wednesday mornings 9:00 a.m. – 10:30 a.m. a mix of beginner and intermediate lessons are offered. Instructor, Nancy Markovich, PPR

**Strength & Stability**

Classes are held on Wednesday & Fridays at 10:30 a.m. Class focuses on strength training for active older adults. Instructor, Brooklyn Watts

**Gather & Knit**

A group of ladies meet in the Lobby on Mondays to knit and socialize. Six (6) – eight (8) ladies have been attending. The group meets on Mondays at 10:30 a.m. – 12:00 p.m. Free social group.

**Game Room**

A time has been added to the calendar for people to come to the rec and play games. Games include cards, dominoes, chess, checkers, and mahjongg. The group meets Fridays 12:00 p.m. – 3:00 p.m.

**Dance Fitness**

Dance the stress of the week off at this fun upbeat class. No dance experience required, just have fun, laugh, and move. Class meets Mondays at 6:00 p.m. Instructor, Kathy Berry

**Volleyball League Play**

Instructional class is designed to give students grades 4<sup>th</sup> – 8<sup>th</sup> grade instruction in real game time situations. Volleyball league play is held on Thursdays, October 6 – November 10. Ten (10) 4<sup>th</sup> and 5<sup>th</sup> graders are enrolled and play at 5:00 p.m. Thirty-five (35) middle schools are enrolled and play from 6:00 p.m. – 8:00 p.m. Instructors, Kreg & Laura Togami

**Fall Market & Movie**

The IOP Famers Markets are held June – October on the third Thursday of the month. The last market of the season was held on Thursday, October 20 from 4:00 p.m. – 7:00 p.m. There were over 20 vendors in attendance, live music provided by Haley Hood and food truck on site was Krystyna's Authentic Polish food, the food truck served over 200 hundred people. The market ended with an outdoor movie "Casper" on the soccer field. Approximately 150 people were in attendance for the movie.

**SPECIAL EVENTS**

Jenea Gardner

**Keenagers**

The Keenagers Senior Social Group took place on Wednesday, October 5. Forty-five (45) people attended the luncheon. The Recreation Department provided fried chicken from Publix and the Keenagers brought fifteen (15) sides, desserts, and dishes to share. After lunch, the group had a costume contest, top three (3) winners were awarded prizes, staff had Halloween games spread around the room for a carnival type feel. The Isle of Palms Police Department assisted with serving food. The next meeting is Wednesday, November 2 at 12:00pm.

**Ghostly Tide Tales**

Approximately 250 people attended Ghostly Tide Tales, held on Friday, October 14 from 6:00 p.m. – 7:00 p.m. Public parking was provided for free in Municipal Lot "B". The Sea Cabins public beach access path was lit with tiki torches and inflatables. On the beach, there were fire barrels to provide warmth. Zach, local storyteller from Bulldog Tours, entertained attendees with family friendly spooky stories. There was no admission charged for this outdoor event.

**Halloween Parade and Carnival**

The Annual Halloween Carnival and Golf Cart Parade was held on Saturday, October 29<sup>th</sup> from 11:00 a.m. – 2:00 p.m. Fifty-seven (57) decorated golf carts participated in the parade. The competition for top 3 decorated golf carts was a tough choice this year, the winners include Polly Herrin with the Great Pumpkin, Kimberly Moore with the Little Blue Truck and Emily & Dan Nemeth with Frozen. Participants of the parade and unregistered participants drove through the haunted house and enjoyed an afternoon of jump castles, balloon artist and face painting. Food was provided by Lawrence's Seafood, Mike's Chicken Salad, and Sur-pies Catering. Just Beachy Golf Carts donated three (3) golf carts for the community to be shuttled through the Haunted House.

**Holiday Street Festival**

The Annual Holiday Street Festival will be held Saturday, December 3 from 2:00 p.m. – 7:00 p.m. on Front Beach. Entertainment will include carnival rides, jump castles, face painter, live music, Santa Claus, and lighting of the tree. Food and craft vendors have been chosen and booked for this event.

**Santa Cookie Workshop**

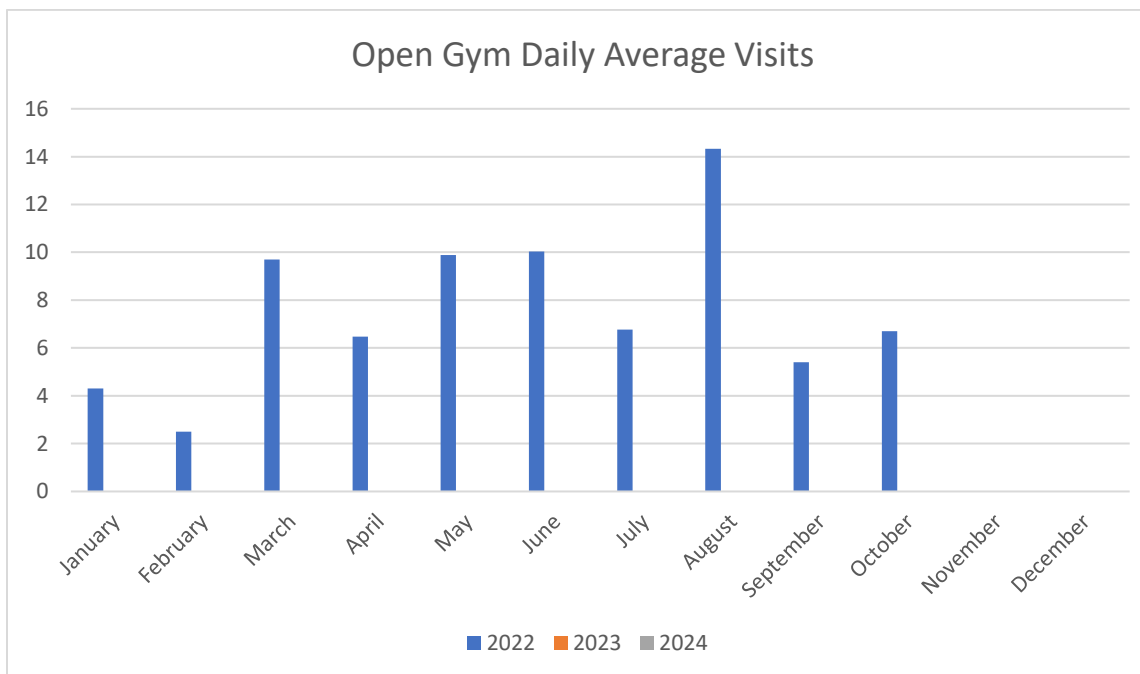
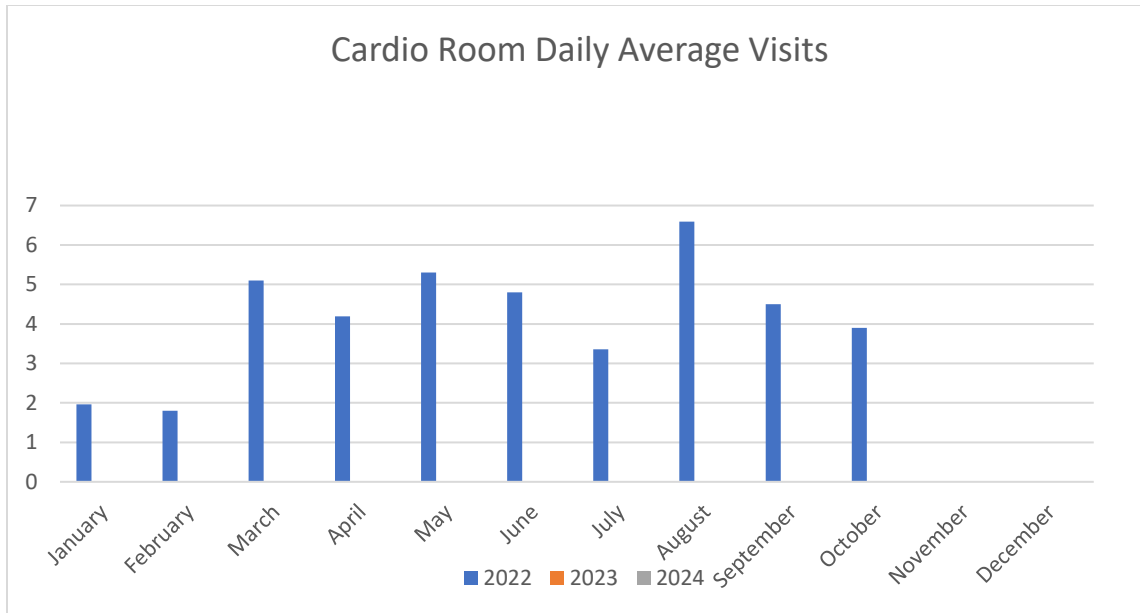
Decorate cookies with Santa and Recreation Staff on Tuesday, December 20 at 2:00 p.m. The event is held for children under the age of 14, with parents accompanying elementary aged children. Participants must register by Wednesday, December 14. Currently thirty-two (32) participants are registered. This is a free event.

**COMMUNITY SPECIALIST**

By Kelsey Marsh

**Daily Responsibilities**

- Completed evening procedures and reported damages to supervisor.
- Set up classrooms for next program when supervisors unavailable.
- Updated media center as needed.
- Registered class participants answered phones and welcomed visitors.
- Updated daily front desk information folders.
- Monitored security cameras.
- Managed the sign-in sheets for gymnasium and cardio room.
- Answered questions regarding current and upcoming programs/events.
- Assisted staff members on a regular basis.
- Participated in daily/weekly staff meetings.
- Developed monthly calendar.
- Showed first time visitors around Recreation Center and introduced them to the programs that are available.
- Completed housekeeping duties when supervisor was unavailable.
- Communicated registration and duty changes to part time staff.
- Assisted with Ghostly Tide Tales, Market & Movie, Halloween Golf Cart Parade, Keenagers Luncheon, and Public Hearing.



## Parks & Facilities

Josh Key

### Housekeeping

Performed routine housekeeping duties.  
 Completed monthly safety inspections.  
 Cleaned and serviced housekeeping maintenance equipment.  
 Replaced and refilled air fresheners and other sanitary devices.

Flush floor drains as needed.  
Disinfected exercise equipment and rooms.  
Remove pests as needed.

### **Facility Preparations**

Assisted with the set-up of gymnasium and classrooms for daily scheduled programs, athletics, activities, meetings and special events.

Participated in weekly staff meetings and Safety Inspection committee meeting.

**10/4-** Prepared grounds for National Night Out.

**10/5-** Setup for and take down after Keenagers.

**10-12-10/14-** Attended Playground Safety Certification Course in Irmo, SC.

**10/20-** Prepared grounds for Farmer's Market and Movie.

### **Interior Maintenance**

Serviced, lubricated and cleaned Cardio room equipment.

Unclogged toilets and drains as needed.

Replaced light bulbs and ballasts as needed.

Machine-scrubbed the facility halls, class rooms and gym floor.

**10/19-** Removed graffiti from stall in women's bathroom.

### **Exterior Maintenance**

Inspected equipment, collected lost & found items and removed debris around the playground.

Removed trash and debris from around the building.

Blow off sidewalks and walkways around the building.

Assisted with grooming the baseball and softball fields.

Mowed grass, weed-eat as needed.

Lined and painted fields for soccer.

**10/1, 10/3, 10/4-** Raked leaves and picked up debris after Hurricane Ian.

**10/3-** Put goals back into place and reassembled backstop netting for soccer.

**10/17-** Replaced 4 bulbs in soccer scoreboard.

**10/20-** Replaced & extended chains on new swing set

### **Service Projects**

**10/5- Affordable Concrete Pumping** - Herman finished installing concrete platform for generator.

**10/17- Charleston Tree Experts-** Tree limbs were cut to provide access for generator platform.

Lowcountry Custom Construction, Inc.  
1779 Labor Camp Road  
Mt Pleasant, SC 29464 US  
bruce@lcc-co.com  
www.lowcountrycustompoolandspa.com

## Estimate

**ADDRESS**

CITY OF ISLE OF PALMS  
ATT: Robert Asero  
1301 PALM BLVD.  
ISLE OF PALMS, SC 29451

| ESTIMATE # | DATE       | EXPIRATION DATE |
|------------|------------|-----------------|
| 2609       | 10/13/2022 | 12/31/2022      |

**SALES REP**

Bruce Olson

**PROJECT**

Street paver repair area 1

| DESCRIPTION  | QTY | RATE     | AMOUNT   |
|--|-----|----------|----------|
| Repair of pavers at incoming and outgoing lane at Windjammer and JC Long Blvd<br>Remove pavers as needed<br>Pour concrete and add steel reinforcing bar and reset pavers | 1   | 5,632.00 | 5,632.00 |

TOTAL

**\$5,632.00**

Accepted By

Accepted Date

Lowcountry Custom Construction, Inc.  
1779 Labor Camp Road  
Mt Pleasant, SC 29464 US  
bruce@lcc-co.com  
www.lowcountrycustompoolandspa.com

## Estimate

**ADDRESS**

CITY OF ISLE OF PALMS  
ATT: Robert Asero  
1301 PALM BLVD.  
ISLE OF PALMS, SC 29451

| ESTIMATE # | DATE       | EXPIRATION DATE |
|------------|------------|-----------------|
| 2611       | 10/13/2022 | 12/31/2022      |

**SALES REP**

Bruce Olson

**PROJECT**

IOP Street Repair at 1126 Ocean

| DESCRIPTION   | QTY | RATE     | AMOUNT   |
|---|-----|----------|----------|
| Repair of pavers at incoming and outgoing lane at 1126 Ocean<br>Remove pavers as needed<br>Pour concrete and add steel reinforcing bar and reset pavers | 1   | 5,880.00 | 5,880.00 |

TOTAL

**\$5,880.00**

Accepted By

Accepted Date



Lowcountry Custom Construction, Inc.  
1779 Labor Camp Road  
Mt Pleasant, SC 29464 US  
bruce@lcc-co.com  
www.lowcountrycustompoolandspa.com

## Estimate

**ADDRESS**

CITY OF ISLE OF PALMS  
ATT: Robert Asero  
BUILDING AND ZONING  
1301 PALM BLVD.  
ISLE OF PALMS, SC 29451

| ESTIMATE # | DATE       | EXPIRATION DATE |
|------------|------------|-----------------|
| 2612       | 10/13/2022 | 12/31/2022      |

**SALES REP**

Bruce Olson

**PROJECT**

lop Street repair at county Pk

| DESCRIPTION   | QTY | RATE     | AMOUNT   |
|---|-----|----------|----------|
| Repair of pavers at incoming and outgoing lane at County park at turtles<br>Remove pavers as needed<br>Pour concrete and add steel reinforcing bar and reset pavers | 1   | 5,900.00 | 5,900.00 |

TOTAL

**\$5,900.00**

Accepted By

Accepted Date

# Commercial Film and Photography Permit

**Contact Name**

Meg Jenkins Locke

**Phone**

(828) 781-6403

**Email**

meg@carolinamoonhospitality.com

**Address**

701 Hicklin Drive, Rock Hill, South Carolina 29732

**Video or Still Photography**

Video

**Name of Production Unit****Proposed Location of Film or Photography Production**

IOP #22 Beach access if allowed, IOP breach inlet area, we are thrilled to work with you!

**Date of Filming or Photoshoot**

11/18/2022

**Duration of Production**

5

**Number of Vehicles**

4

**Number of Crew**

12

**Insurance Carrier**

TBD

**Road Closures**

Required

No

**Security Required**

No

**Description of Filming**

Short Film entitled Good Grief. It is a hopeful, tearjerker about sisterly love.

**Attach Documents**

THE GRIEF SISTERS - Final Lookbook copy.pdf

*"Nothing can make up for the absence of  
someone whom we love, and it would be wrong  
to try to find a substitute."*

# GOOD GRIEF

A short film by Meg Jenkins Locke

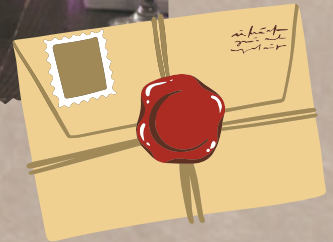







## LOGLINE

On the day of her older sister's burial, a bereaved woman meets an amicable bartender who helps her find the courage to visit the two sisters' old stomping ground. A story about sisterly love, reminding us that those we love never truly leave us.







## SYNOPSIS

When the grieving Alice stops at a dive bar in the Lowcountry on the day of her older sister's burial, a hospitable bartender takes it upon himself to look out for her. Over the course of the night, Alice recalls her sister's battle with cancer. We see their past unfold as the two sisters courageously lift each other's spirits as the disease progresses and Alice prepares herself for what's to come.



# Alice & Mary Keller



Alice and Mary Keller are based on the real-life Meg Jenkins Locke (Writer/Producer) and her older sister Mary Mallette Jenkins Wood, who lost her battle with cancer in 2021. Meg's journey with grief gave birth to this story about two sisters who fight a devastating illness with love and humor and how one sister chooses to keep the other's memory alive.





# The Bartender

The Bartender, having lost a loved one too, represents someone who is further along on their journey with grief. He connects with Alice and helps her confront her loss and, at the same time, celebrate her sister's life.







# The World





# Style & Tone

The film opens with an image of two young sisters dancing blissfully, not a care in the world. This moment will be the antithesis of our story's central conflict. But their playful spirit — their humor and love — always shines through.




# Style & Tone



Visually, the film is full of symbols representing life: the blossoms, the ocean, the vines creeping up the porch, and the wind. So the visuals should keep that motif at the forefront, contrasted with moments of stillness and emptiness that parallel Alice's emotional journey throughout the story.





The color and texture should feel natural and soft, almost muted. A palette of cool colors can help intensify the bleak and hopeless moments. Whereas warm colors can be introduced in moments of resilience and hope – but nothing to pull you away from the story... nothing to overpower the natural, innate beauty. And the use of silhouette with the sisters will be something we revisit throughout – the image of two sisters bonded and connected together.







# Meg Jenkins Locke

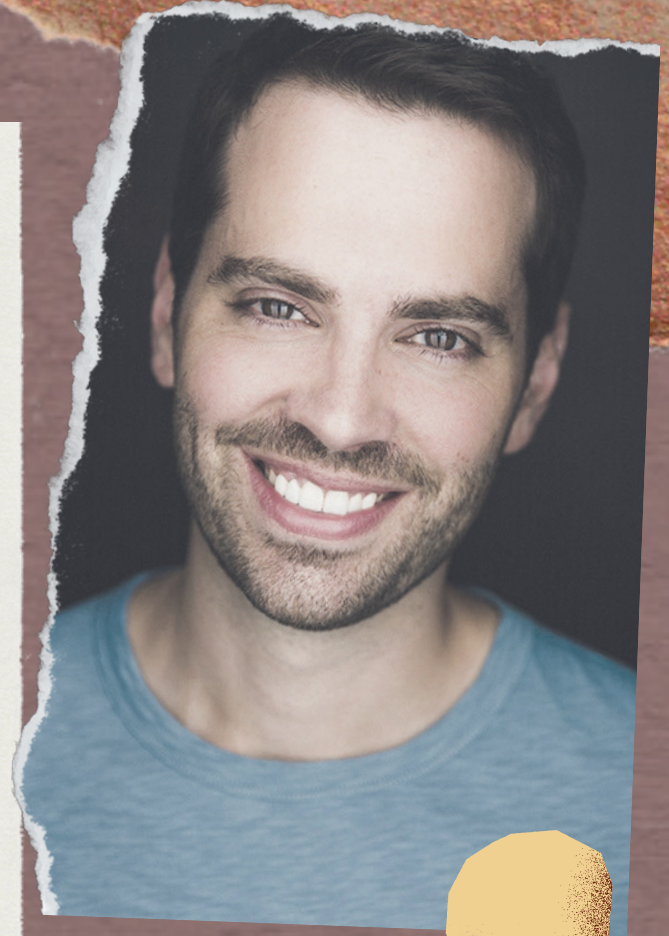
“Alice” / Writer - Producer - Co-Director

A South Carolina native, Meg Jenkins Locke founded Carolina Moon Hospitality in 2005. Beginning her career over thirty years ago, Meg's lifelong love of family, food, and relationships culminated with the opening of Hickory's premier farm-to-table restaurant, HIGHLAND AVENUE, and the premier events venue THE CROSSING, in the spring of 2013. With a soaring imagination as a community developer and entrepreneur, Meg's unrealized ambition has always been to write, develop, and produce films. And thus, CAROLINA MOON PRODUCTIONS was born. Meg is currently the CEO of Legacy Health & Wellness MedSpa, located in Fort Mill, SC, and she sees her film work as one more way to serve her thriving community.

# Shane Andries

Director / Producer

Shane Andries is an award-winning writer/director. His most recent short film received a Vimeo Staff Pick and won Best Short Film and the Audience Choice Award at IndieWorks - NYC. Shane won Grand Prize at the Slamdance Screenplay Competition and was selected as one of three mentees at The Hamptons Film Screenwriters lab. He is currently writing a live-action Aladdin spinoff for Disney. His previous work includes the adaptation of the Wall Street Journal Bestseller, Jackpot: High Times, High Seas, and The Sting That Launched The War On Drugs (a story about South Carolina's infamous Operation Jackpot). Shane is an alumnus of The University of North Carolina School of the Arts.







# Billy Magnussen

"Bartender" / Actor - Producer

Billy Magnussen recently wrapped filming the action-thriller feature LIFT opposite Kevin Hart and Gugu Mbatha-Raw for Netflix. He was last seen in BOND: NO TIME TO DIE, opposite Daniel Craig and Rami Malek, for director Cary Fukunaga, and can be seen as "Paulie Walnuts" in David Chase's SOPRANOS prequel THE MANY SAINTS OF NEWARK. He is the star of the HBO Max/Paramount series MADE FOR LOVE, opposite Cristin Milioti and Ray Romano. Other credits include Cary Fukunaga's Netflix miniseries MANIAC, Disney's live action adaptation of ALADDIN, Netflix's acclaimed series BLACK MIRROR: USS CALLISTER, Warner Bros/New Line's GAME NIGHT, Adam McKay's THE BIG SHORT, Steven Spielberg's BRIDGE OF SPIES, Matt Spicer's INGRID GOES WEST, and Dan Gilroy's VELVET BUZZSAW. He was nominated for a Tony Award for his performance in VANYA AND SONIA AND MASHA AND SPIKE.





# Ela Thier

Executive Producer / Consultant

Ela Thier has been described by critics as a powerful new voice in independent American cinema. She was the writer, director, producer, lead actor, and editor of the award-winning, critically acclaimed feature film *Tomorrow Ever After* (2016). Her feature film, *Foreign Letters* (2012), has shown in over 140 festivals worldwide and on major networks (i.e., Turner Classic Movies). She has written, directed, produced, and occasionally performed in over a dozen short films, winning numerous Best Short awards. Her film, *A Summer Rain* (2009), screened at hundreds of venues worldwide and became a YouTube sensation. Thier was a writer-for-hire and co-producer on *Puncture* (2011), starring Chris Evans, which premiered at the Tribeca Film Festival. She also wrote *The Wedding Cow* (2000), a romantic comedy produced by Sudwestrundfunk, a prominent German TV network, which won numerous international awards.



# Council Workshop Review

November 15, 2022





# Council Workshop Review

Review original goals and  
objectives

What's worked

What hasn't worked

Options going forward

Next steps

# Review original goals and objectives

- ◆ Trial period for 6 months – have had 3 workshops due to meeting schedule and holidays
- ◆ To develop a new meeting structure for Council to increase efficiency and effectiveness of governance
- ◆ Inform/educate all of Council at the same time on issues and topics
- ◆ Reduce redundancy of updates and presentations
- ◆ Decrease staff time preparing for, attending and following up from committee meetings
- ◆ Ensure Council's focus is at policy making level and not day to day operations

# What's worked

- ◆ Use of dashboard for quick overview of key operational metrics
- ◆ Reduced redundancy of updates and presentations
- ◆ Council informed/educated at same time
- ◆ Staff time significantly reduced preparing for, attending and following up from committee meetings
- ◆ Council's focus at policy making level as opposed to day to day operations
- ◆ Use of standing committees when warranted
- ◆ Other thoughts?



# What hasn't worked

- ◆ Meetings are too long
- ◆ Reduced opportunity for citizen's comments due to fewer meetings
- ◆ Confusion on when to use workshops, committees or council meetings
- ◆ Other thoughts?

# Options going forward

- ◆ Continue current trial period utilizing workshops to allow more time to assess meeting structure
- ◆ Create a hybrid approach with workshops and revised committee structure
  - ◆ Continue using workshops along with 3 standing committees that meet only as needed or when assigned a specific task from Council. For example:
    - ◆ **Administration** –matters relating to oversight of City administration and personnel management functions – personnel; licensing; city attorney; municipal court; solicitations for Boards and Commissions; administrative infrastructure; communication and community outreach
    - ◆ **Public Safety** –matters relating to the police and fire operations, transportation, emergency management, code compliance
    - ◆ **Public Facilities and Services** –matters relating to construction, maintenance and improvements of streets, beach and beach access paths and city-owned property; sanitation services including trash and debris; stormwater management; and environmental, energy and resource conservation programs and recreational facilities and activities.
- ◆ Conduct 2 Council meetings per month to more timely address issues – and use committees as needed for more in-depth research/analysis
- ◆ Go back to original committee structure
- ◆ Other thoughts?

# Next steps

◊ Thoughts/other ideas?



**Planning Commission Meeting  
4:30pm, Wednesday, November 9d, 2022  
1207 Palm Boulevard, Isle of Palms, SC and  
broadcasted live on YouTube: <https://www.youtube.com/user/cityofisleofpalms>**

**MINUTES**

**1. Call to Order**

Present: Steve Corney, Sue Nagelski, Sandy Stone, Marty Brown, Ron Denton, Jeffrey Rubin, David Cohen, Matt Sims, Zoning Administrator and Douglas Kerr, Director of Planning

Also present: Administrator Fragoso, City Attorney Halversen, Cheryl Shoun, Nicole Scott

**2. Approval of minutes**

Mr. Stone made a motion to approve the minutes of the October 12, 2022 regular meeting. Mr. Corney seconded the motion.

Mr. Stone noted that the name of the Zoning Administrator should be Simms and not Kerr at the bottom of the first page.

A vote was taken and the minutes were passed as amended.

**3. New Business – Recommendations on Wild Dunes PRD Amendments**

Director Kerr briefly reviewed the purpose of the ordinances which includes reducing the number of developable units within Wild Dunes to current levels and creating a conservation/recreation overlay district. He did note that the codes allow for any existing lots that have already been subdivided to be built upon. These ordinances address future subdivisions or hotel rooms. He also clarified that the tennis courts are part of the conservation/recreation district as an allowable use. He also said the golf course property outside the gates is included in the new district.

Director Kerr reviewed what has happened to date procedurally starting with City Council passing the First Reading of the ordinances at their September meeting followed by Public Hearings on October 18 and November 1. The Planning Commission has 30 days to give a recommendation to City Council with no recommendation being considered a recommendation. The 30 days starts today. More information can be provided to the Planning Commission and a Special Meeting can be scheduled within those 30 days, if needed. He did share that the Planning Commission is expected to react within those 30 days.

Director Kerr shared that no plans to develop the parcels in question have been submitted by Wild Dunes and with the passing of First Reading and the implementation of the Pending Ordinance Doctrine, the Building Department is unable to approve any submitted plans that are in contrast to the ordinances.

Mr. Stone expressed concern that City Council has not been in any kind of negotiation with the developers. He feels these ordinances have been “fast tracked” and forced on the Planning Commission. He asked if the City understood all the implications of the ordinances and suggested allowing time for the City and the developers to speak.

Director Kerr said the 1975 PRD has historically been viewed as a loose set of rules that gave the developers a lot of flexibility. He said the developers can petition the City for amendments to the ordinances should the ordinances pass.

Mr. Denton expressed concern about the additional traffic any further development would create. He also expressed concern about “trying to find some legal or more legal teeth to sink into as a way of enforcing this ordinance for the opportunity with the lawyers come out.” He said that rezoning will create opportunity for the developers to negotiate with the City.

Director Kerr urged the Commissioners to look at these ordinances along technical lines, noting that City Council makes the ultimate decision, and therefore the legal ramifications lie with them.

Ms. Nagelski said that the ordinances are inline with the objectives and goals of the Comprehensive Plan.

Discussion ensued about the inclusion of the out islands in the ordinances. Director Kerr said that legal counsel has been notified to increase the number of units in the ordinances by 3 to include what could be built on the out islands.

Mr. Cohen expressed concern about a current structure being demolished and being rebuilt with higher density.

Mr. Stone asked if these ordinances would affect the tax rates on those particular parcels. Director Kerr said that there are currently no plans to put any of those properties into a conservation easement, so the tax rate should not be affected. He said the developers are required to keep a certain amount of open space.

Mr. Brown, addressing the question from Wild Dunes Community Association, asked if their point about the consideration of island properties outside the PRD and the equal treatment of properties across the island. Director Kerr said the examples given by WDCA all have structures currently on them. He also said that if such a district were to be developed, the Planning Commission would need to develop standards for setbacks and lot coverage. He said the ordinances in question did not contemplate anything being built on them.

Mr. Stone asked if the new waste water treatment plant is being built to include the extra rooms in the 1975 PRD, and Director Kerr said it is not. He said that when the new plant is completed,



the old plant will be used for storage and a pump station will be put on the property. The lake will also remain intact.

In response to Mr. Stone's suggestion that the City take time to negotiate with the developers, Mr. Corney said that it is the job of the Planning Commission to make a recommendation to City Council about whether or not to move forward with the ordinances.

Director Kerr stated that the ordinances have been drafted by the City's legal counsel. Mr. Denton noted that all public comments received by the Commission have been in support of the ordinances being passed. Dr. Rubin noted the only information the Planning Commission is missing is anything from the developer, noting they won't likely receive any of that information.

Ms. Nicole Scott, as a member of legal counsel for the City, said of the role of the Planning Commission, "Your role correctly as has been stated is to review this in light of the Comp Plan, whether it is consistent with the Comp Plan and other zoning ordinances that the City has adopted, and so it is a very limited role, and it is recommendation, right, you are not a decision-making authority. Therefore, there are no concerns about liability and action that the Planning Commission may take."

**MOTION: Mr. Corney made a motion to recommend to City Council to proceed with Second Reading of Ordinances 2022-08, 2022-09, 2022-10, 2022-11, and 2022-12 and move forward with approval. Dr. Rubin seconded the motion. The motion passed unanimously.**

4. **Old Business -- none**

5. **Adjournment**

Mr. Corney made a motion to adjourn, and Mr. Denton seconded the motion. The meeting was adjourned at approximately 5:30pm.

Respectfully submitted,

Nicole DeNeane  
City Clerk

**Citizen's Comments submitted via online public comment form for the Planning Commission - November 9, 2022**

| <b>Date Submitted</b> | <b>Name</b>              | <b>Address</b>  | <b>Comments for Council Meeting</b>  | <b>Meeting This Comment is Intended For:</b> | <b>Email Address</b>         |
|-----------------------|--------------------------|---|--|--|------------------------------|
| 11/9/2022 6:48 PM     | Mr. & Mrs. Robert Smith  | 31 Seagrass Lane, Isle of Palms, South Carolina 29451                           | We are full-time IOP residents and we urge you to pass the amendments being brought forward. There are only two bridges off these islands and whenever there is an accident or weather (or day trippers), the traffic is crazy. If there is an emergency, those vehicles have a hard enough time getting through on a good day. More growth, means more people. When is enough, enough?  | Planning Commission                          | esmithdesigns@verizon.net    |
| 11/9/2022 4:33 PM     | Richard Tajak            | 22 Waterway Island Dr and 24 Pelican Reach, Isle of Palms, South Carolina 29451 | VOTE YES for the five zoning ordinances. I am an IOP homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances. Ordinance #5 is especially critical, which provides the actual cap on further development within the current 1975 PRD. The citizens of IOP overwhelming support these ordinances.   | Planning Commission                          | gart4@comcast.net            |
| 11/9/2022 4:29 PM     | Dr Germaine Aprill       | 22 WATERWAY ISLAND DR and 24 Pelican Reach, ISLE OF PALMS, South Carolina 29451 | Vote YES I am an IOP homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances. We need to limit overgrowth on our wonderful island   | Planning Commission                          | gart4@comcast.net            |
| 11/9/2022 3:55 PM     | Dr. Michael Paul Eriksen | 12 30th Avenue, Isle of Palms, South Carolina 29451                             | For the past 10 years, I have been a proud homeowner of 12 30th Avenue, IOP. We are considering a significant investment to improve our home and the decision to do so, will be dependent on maintaining IOP as a friendly, intimate, family community. I am not in support of additional density, traffic and demand on public services and I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.  | Planning Commission                          | meriksen@gsu.edu             |
| 11/9/2022 3:28 PM     | BettyLynn Allison        | 10. 30th Ave., IOP, South Carolina 29451  | PLEASE REMEMBER THAT WE ARE A COMMUNITY AND NEIGHBORHOOD first. It is unreasonable to have big business disregard this.  | Planning Commission                          | bettylynnallison@hotmail.com |
| 11/9/2022 12:32 PM    | Mark Phlieger            | 18 Waterway Island Dr, Isle of Palms, South Carolina 29451                      | I am an IOP and Wild Dunes homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.<br><br>Thank you,<br><br>Mark Phlieger<br>18 Waterway Island Drive<br>Isle of Palms, SC 29451   | Planning Commission                          | mark.phlieger@gmail.com      |
| 11/9/2022 12:06 PM    | Judy Phlieger            | 18 Waterway Island Drive, Isle of Palms, South Carolina 29451                   | I am an IOP and Wild Dunes homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.   | Planning Commission                          | judyphlieger@gmail.com       |
| 11/9/2022 12:26 AM    | Mr. Thomas A. Schmidt    | 50 Ocean Point Dr., Isle of Palms, South Carolina 29451                         | Strongly urge the Planning Board approve all five(5) ordinances without amendment. Doing so will preserve and protect our wonderful island from further development by large commercial interests.The ordinances compliment our Compreghsive Plan.<br>Most respectfully,<br>Tom Schmidt<br>843-343-3005  | Planning Commission                          | tschmidt@comcast.net         |
| 11/8/2022 11:43 PM    | Deborah Johnson          | 4 Grand Pavilion Dr, Isle of Palms, South Carolina 29461                        | Please recommend that the City Council vote yes to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. It is critical that you do this for Ordinance #5 which will cap further development within the current 1975 PRD. I live in the Grand Pavilion area. Any further development will totally destroy this area. I volunteer on the turtle team. We cannot afford to further destroy the environment in this area. We do not have the infrastructure for for any further development. Since the Sweetgrass hotel has opened it takes me about 10/15 minutes extra during the summer just to reach Palmetto. So many people, golf carts, bicycles, cars, landscaping vehicles, housekeeping, utility vans trying to maneuver in that very congested area!! We cannot afford to add to this. It is a major safety hazard. Please, please,please recommend to approve these ordinances especially #5! Thank you very much. | Planning Commission                          | distrobel@aol.com            |
| 11/8/2022 10:58 PM    | Kathleen Tirakian        | 30 Twin Oaks, IOP, South Carolina 29451   | Please vote yes to cap development in Wild Dunes and preserve amenities. The infrastructure can't handle added development.  | Planning Commission                          | tirakian@sbcglobal.net       |

|                    |  |   |   |                     |                             |
|--------------------|--|---|---|---------------------|-----------------------------|
| 11/8/2022 10:04 PM | Ms Marcia Clark                        | 18 Hidden Green Lane, Isle of Palms, South Carolina 29451 | Thank you for your time serving our great city. I am writing to ask for your support and recommend the passing of the 5 PRD ordinances. Our city does not have the resources and services to support further development within Wild Dunes from the resort owners.  | Planning Commission | mclarkhk1@gmail.com         |
| 11/8/2022 10:00 PM | Deborah Elliott<br>Deborah Ann Elliott | 9 Palm ct, Iop, South Carolina 29451                      | Please vote yes to the zoning ordinances that will protect our fragile ecosystem, our quality of life and our safety in this new era of super storms. My husband Charles W Elliott and I are full time owners since Dec 2010. Non rental just wanting to keep our home safe, comfortable . Overdevelopment is a curse! Look at Ft. Myers!   | Planning Commission | elliottdebg@gmail.com       |
| 11/8/2022 8:19 PM  | Mr John A Singer                       | 8000 Palmetto Dr, Apt 502, IOP, South Carolina 29451      | <p>I respectfully request that the Planning Commission recommend amending the existing zoning ordinances to prohibit the Wild Dunes Resort from constructing additional condominiums and a hotel.</p> <p>As to IOP generally, these additional residences (presumably mostly to be used as short-term rentals) and the hotel likely will significantly increase traffic on an already congested Palm Blvd. Presumably some of this increased traffic will overflow on to what are now more residential-oriented streets including, Waterway Blvd. Unlike greater demands on infrastructure (for example trash collection) that these additional facilities would create that, arguably, could be in part offset by more tax revenue, there simply is not space available to expand IOP's roadways.</p> <p>As to Wild Dunes specifically, while this construction would economically benefit the Wild Dunes Resort, this would be at the expense of the thousands of other existing Wild Dunes Property owners. Beyond the traffic issues addressed above, such development would result in greater density and the loss of some of the open space that makes the Wild Dunes so attractive. It may also eliminate amenities such as the lap pool at the Swim Center and at least some of the tennis courts. Parking is already at a premium within Wild Dunes and the spaces necessary for vehicles from new condo owners and their lessees, hotel guests, and additional Wild Dunes Resort staff will greatly exacerbate this issue. Moreover, while Wild Dunes Resort may have a short-term windfall from the sale of 300 condos, the net result for all of the other 2,000-plus Wild Dunes owner could be a diminished value to our properties, which would be a loss on our personal investments as well as a loss of property tax revenue to IOP.</p> <p>In sum, as a sophisticated developer, Lowe and Dart knew or should have known when it purchased the Wild Dunes Resort that there likely would be significant community opposition to any efforts by Wild Dunes Resort to construct more condominiums and a what will be a third hotel within Wild Dunes. It should have factored in this consideration, including potential zoning changes that could affect Wild Dunes Resort's ability to engage in future development, in its purchase price for Wild Dunes Resort. The strong community reaction to the much smaller issue of Wild Dunes Resort converting some tennis courts to employee parking provides a sense of the depth and strength of the community's sentiments against additional development. The Planning Commission, therefore, should recommend amending IOP's zoning ordinances to prohibit Lowe and Dart from taking actions that would benefit it solely and would be a significant detriment to thousands of other property owners, both within Wild Dunes and outside the boundaries of Wild Dunes.</p> | Planning Commission | regnisj@gmail.com           |
| 11/8/2022 4:47 PM  | Mr Thomas Witheford                    | 43 Morgans Cove Drive, IOP, South Carolina 29451          | Please recommend that the city council vote "yes" to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. Ordinance 5 is most important to support to cap further dev. within the current 1975 PRD. thank you!  | Planning Commission | withefordfamily@hotmail.com |
| 11/8/2022 4:32 PM  | Faye & Michael Davis                   | 12 Oyster Row, IOP, South Carolina 29451                  | We ask that the City Council vote YES to approve the proposed zoning Amendments to preserve recreation facilities and cap density in the Wild Dunes PRD per Ordinance #5.   | Planning Commission | fayesdavis@gmail.com        |

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| 11/8/2022 4:26 PM  | Mr. John Singer          | 8000 Palmetto Dr., Apt. 502, IOP, South Carolina 29451             | <p>I respectfully request that the Planning Commission recommend not amending the existing zoning ordinances to permit the Wild Dunes Resort to construct additional condominiums and a hotel.</p> <p>As to IOP generally, these additional residences (presumably mostly to be used as short-term rentals) and the hotel likely will significantly increase traffic on an already congested Palm Blvd. Presumably some of this increased traffic will overflow on to what are now more residential-oriented streets including, Waterway Blvd. Unlike greater demands on infrastructure (for example trash collection) that these additional facilities would create that, arguably, could be in part offset by more tax revenue, there simply is not space available to expand IOP's roadways.</p> <p>As to Wild Dunes specifically, while this construction would economically benefit the Wild Dunes Resort, this would be at the expense of the thousands of other existing Wild Dunes Property owners. Beyond the traffic issues addressed above, such development would result in greater density and the loss of some of the open space that makes the Wild Dunes so attractive. It may also eliminate amenities such as the lap pool at the Swim Center and at least some of the tennis courts. Parking is already at a premium within Wild Dunes and the spaces necessary for vehicles from new condo owners and their lessees, hotel guests, and additional Wild Dunes Resort staff will greatly exacerbate this issue. Moreover, while Wild Dunes Resort may have a short-term windfall from the sale of 300 condos, the net result for all of the other 2,000-plus Wild Dunes owner could be a diminished value to our properties, which would be a loss on our personal investments as well as a loss of property tax revenue to IOP.</p> <p>In sum, as a sophisticated developer, Lowe and Dart purchased the Wild Dunes Resort presumably with full knowledge of what are the existing limitations on its ability to engage in additional development. Now, Lowe and Dart is trying to change the development rules to its benefit and to the detriment of arguably all other property owners on IOP, both within and without Wild Dunes. The Planning Commission, therefore, should reject Lowe and Dart's efforts to change IOP's zoning rules.</p> | Planning Commission | regnisj@gmail.com         |
| 11/8/2022 3:19 PM  | MR Jason Rutherford      | 1 Back Ct, Isle of palms, South Carolina 29451                     | I encourage the council to vote "yes" to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. Ordinance #5, is critical as it provides the actual cap on further development within the current 1975 PRD and maintains beauty of Wild Dunes  | Planning Commission | jason.r.rutherford@me.com |
| 11/8/2022 3:10 PM  | Ms. Patsy Ballou Hindman | 7 Barnacle Row, Isle of Palms, South Carolina 29451                | Please recommend to IOP City Council that the proposed new zoning ordinances be approved without delay. It is especially important that all 5 of these ordinances move forward as quickly as possible through the Planning Commission and then through City Council. This is probably one of the most important actions that you have an opportunity to take on behalf of all IOP residents. Please don't fail us on this.   | Planning Commission | pbhindman@bellsouth.net   |
| 11/8/2022 1:23 PM  | Jeffrey Gitomer          | 7600 palmetto blvd, Unit A206, Isle of Palms, South Carolina 29451 | I strongly encourage and recommend that the City Council vote "yes" to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. I also reference the critical nature of ordinance #5, which provides the actual cap on further development within the current 1975 PRD.  | Planning Commission | jeffrey@gitomer.com       |
| 11/8/2022 1:22 PM  | Ms Jennifer Gluckow      | 7600 palmetto blvd, Unit A206, Isle of Palms, South Carolina 29451 | I ask and plead that City Council vote "yes" to approve proposed zoning amendments/ordinances to preserve recreation facilities and cap density in the Wild Dunes PRD. I also reference the critical nature of ordinance #5, which provides the actual cap on further development within the current 1975 PRD.   | Planning Commission | jen@jengitomer.com        |
| 11/8/2022 1:21 PM  | Mitzi Gilreath           | 30 Beachwood West, IOP, South Carolina 29451                       | I urge the commission to vote yes for the discussed ordinances. This is not just a matter for Wild Dunes but for all of Isle of Palms. Please represent the people who elected you. Thank you  | Planning Commission | mitzigilreath@yahoo.com   |
| 11/8/2022 1:20 PM  | Kathi D Schuitema        | 30 Seagrass Lane, Isle of Palms, South Carolina 29451              | <p>Please recommend that Council pass the five ordinances on the basis that they all comply with the IOP Comprehensive Plan, as written.</p> <p>Measures that will enhance the existing character of the island as a quality place to live, and protect the environment both on and around the island, must be taken to guide development and preserve the quality of life for generations to come.</p>  | Planning Commission | kathischuitema@gmail.com  |
| 11/8/2022 12:51 PM | Mr Charles Gilreath      | 30 Beachwood West, Isle of Palms, South Carolina 29451             | I am an IOP homeowner and believe we need to limit further development. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.   | Planning Commission | cmgilreath@yahoo.com      |

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| 11/8/2022 12:40 PM | ROBIN D GARNER                 | 12 Lake Village Ln, Isle of Palms, South Carolina 29451         | THE PEOPLE OF IOP HAVE SPOKEN LOUD AND CLEAR FOR SUPPORT OF THE 5 ORDINANCES ON THE TABLE TO RESTRICT THE GROWTH AT WILD DUNES, KEEPING ITS CAPACITY AT THE CURRENT LEVEL. WE DO NOT NEED ADDITIONAL LIVING QUARTERS WE NEED OT PERSERVE AND STRENGHTEN WHAT WE HAVE. DO THE RIGHT THING (WHAT THE PEOPLE YOU REPRESENT WANT) AND PASS THE 5 ORDINANCES. AS ONE SPEAKER TERMED IT THIS IS A "NO BRAINER".<br>ROBIN & WENDY GARNER 12 LAKE VILLAGE (WD), IOP  | Planning Commission | rgcpa@bellsouth.net        |
| 11/8/2022 1:51 AM  | Ann Murphy                     | 53 Pelican Reach, Isle of Palms, South Carolina 29451           | I am an IOP homeowner and full time resident. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for ALL FIVE ordinances. Thank you for your service!  | Planning Commission | acmurphy@mindspring.com    |
| 11/7/2022 11:34 PM | Dian Hloros                    | 8500 Palmetto Drive, #H201, Isle of Palms, South Carolina 29451 | My husband and I own a condo in Wild Dunes where we reside part time. It is not a rental property.<br>I support the proposed zoning ordinances 2022-08 through 2022-12. Please vote to protect the residential quality of IOP by voting yes for these ordinances.<br>Thank you   | Planning Commission | Ddh126@gmail.com           |
| 11/7/2022 9:56 PM  | MR/MRS WILLIAM/VEREEN L DENNIS | 21 FAIRWAY DUNES LANE, ISLE OF PALMS, South Carolina 29451      | PLEASE ADVISE CITY COUNCIL TO VOTE "YES" FOR ORDINANCES 2022-08 THROUGH -12. THERE SHOULD BE NO MORE BUILDING AT WILD DUNES, AND THE RECREATION AREAS SHOULD BE PRESERVED. OUR INFRASTRUCTURE IS ALREADY OVERLY STRESSED. TRAFFIC IS OVERLY CONGESTED ALREADY. THIS IS REALLY NEEDED TO HELP PRESERVE THE CHARACTER OF THE ISLAND. THANK YOU. BILL AND VEREEN DENNIS   | Planning Commission | bdennis@foxrothschild.com  |
| 11/7/2022 6:33 PM  | Mrs Elizabeth S Campsen        | 32 Intracoastal Court, Isle of Palms, South Carolina 29451      | quality place to live and protect the environment both on and around the island". The functions, powers and duties of the Planning Commission as governed by South Carolina statute are to advance plans and programs which must be designed to promote public health, safety, morals, convenience, prosperity, or the general welfare as well as the efficiency and economy of its area of jurisdiction. That same statute vests in you the power and duty to, among other things, recommend zoning ordinances for adoption as a means for implementing the plans and programs of the City. In order to preserve the existing land use relationships on the Isle of Palms and to ensure that our zoning code accurately reflects our Land Use Map, Ordinance 2022-08, 2022-09 and 2022-10 should be approved by Planning on Wednesday evening and recommended for final consideration and adoption by council at their next meeting on November 15th. There is no dispute that the areas depicted in the ordinances and/or on our Land Use Map have been historically utilized as open, recreational space and our zoning map should be revised accordingly. I also believe there is a clear need to protect and preserve these elements as the footprint has already been reduced by the conversion of historically utilized tennis courts into a parking lot.<br><br>Ordinance 2022-11 should also be approved and immediately recommended for adoption as this ordinance corrects scrivener's errors in our current code.<br><br>It is also in keeping with goals and objectives of the Comprehensive Plan and the Strategic Plan to immediately recommend the adoption of Ordinance 2022-12 in order to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes. No business interest supersedes our fundamental planning principles which are designed to protect the public health, safety, welfare and general convenience of the residents of the Isle of Palms.<br><br>I attended the October 11, 2017 Planning Commission meeting to hear the Sweetgrass Inn development discussion. At the time, a traffic engineer spoke on behalf of the resort, which I assumed meant a detailed traffic impact study had been done. I now realize that was not the case. (I have requested a copy from the City and have been informed there is not one and at the last Public Hearing a resident from behind the gate stated he had asked the resort for all of their impact studies as well and was told there were not any because "they didn't have to do that.") Regardless, in 2017, the traffic engineer stated it was her belief that the 153 additional rooms would add 100-150 trips per peak hour or 2 cars a minute to our daily traffic. That is between .7-1 trips per room. I am not clear whether this estimation takes into account the 850 employees now working at the resort. Using the 2017 estimates, adding 53 more hotel rooms and 330 rental units means | Planning Commission | ecampsen@gmail.com         |
| 11/7/2022 5:41 PM  | gee lawton                     | 8500 Palmetto Dr, Tidewater h101, IOP, South Carolina 29451     | I am an IOP homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.  | Planning Commission | gee.lawton@gmail.com       |
| 11/7/2022 5:28 PM  | Mr. William S. Smith           | 16 Lake Village Lane, Isle of Palms, South Carolina 29451       | Please vote yes on the five amendments. Thank you.   | Planning Commission | wssmith@hartnettrealty.com |

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| 11/7/2022 3:27 PM | Mr Paul Hetzel            | 30 FAIRWAY DUNES LN, ISLE OF PALMS, South Carolina 29451   | <p>Thank you for your service to our IOP community. My wife Stephanie and I live at 30 Fairway Dunes Ln. as full-time residents.</p> <p>I ask that you vote in favor of recommending the 5 ordinances that will amend the conservation district to include the preservation of recreation facilities (including the golf courses, tennis facilities) and cap the density in the Wild Dunes PRD.</p> <p>I believe that these 5 ordinances are 100% consistent with the Planning Commission’s Comprehensive Plan. Specifically, the Planning Commission Vision Statement, written in 2002 and amended in 2015, had the foresight to ensure that “Measures...must be taken to guide development and preserve the quality of life for generations to come.” Our Comprehensive Plan details many goals and strategies that support this concept.</p> <p>A very forward-looking statement was included in our Comprehensive Plan: “In accord with the Vision Statement, the primary planning concept is that of ‘enhance the existing character of the island as a quality place to live and protect the environment both on and around the island’ The existing development pattern, both in terms of the land use types and the geographic allocation of these uses, is viewed as being the desired future pattern. The objective of the plan is to preserve the existing land use relationships.”</p> <p>The statements above support the charge that the primary responsibility of our Planning Commission is to use a continuing planning program for the physical, social, and economic growth, development, and redevelopment of the City of Isle of Palms. The 5 ordinances refine our use of our treasured resources.</p> <p>I urge you to vote in favor of recommending the 5 ordinances as we work toward improving our quality of life and preserving our environment.</p> <p>Thanks,</p> <p>Stephanie and Paul Hetzel</p> | Planning Commission | paul.hetzel@gmail.com |
| 11/7/2022 2:34 PM | joseph & Patricia porfeli | 3606 WATERWAY BLVD, ISLE OF PALMS, South Carolina 29451    | We are IOP homeowners. We support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances.   | Planning Commission | joe.porfeli@gmail.com |
| 11/7/2022 1:44 PM | Teresa Scott              | 28 Fairway Oaks Ln, Isle of Palms, South Carolina 29451    | We support 2022-08 2022-12 proposed ordinances   | Planning Commission | tdsrn2001@icloud.com  |
| 11/7/2022 1:27 PM | Nancy R. Barksdale        | 28 Fairway Dunes Lane, Isle of Palms, South Carolina 29451 | <p>Planning Commission Members:</p> <p>I have been an IOP homeowner for 30 years. I support proposed zoning ordinances 2022-08 through 2022-12.</p> <p>The Comprehensive Plan serves as your guide for decision making in matters affecting development and redevelopment of Isle of Palms. The Plan’s Vision Statement provides that: “Measures that will enhance the existing character of the island as a quality place to live, and protect the environment both on and around the island, MUST [emphasis added] be taken to guide development and preserve the quality of life for generations to come.”</p> <p>The Statement does not say “should” or “may” ... it says measures MUST be taken to preserve the quality of life for generations to come. That is precisely what these five (5) ordinances do. They are needed to protect our small island from overgrowth that is unsustainable.</p> <p>At your November meeting please vote "yes" for these ordinances.</p>  | Planning Commission | nrreid@hotmail.com    |

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| 11/6/2022 6:05 PM  | Nancy J Smith        | 16 Lake Village Lane, Isle of Palms,<br>South Carolina 29451                     | Please remember that this entire community of homeowners wants you to pass the proposed amendments. We have signed petitions, shown up at meetings and written emails. We have expressed our concerns about development of Hotel/Resort and he negative impact on the quality of our lives. Whether it new infrastructure or noise or light pollution- the impact on this island and on this community of homeowners has been awful. Vote for us, vote to protect us. Pass the amendments and then we can work together in trust. The electorate does not trust elected officials who don't represent them. We the people who live on this island have made ourselves clear. Pass the 5 amendments. If you do we will know that you care about us. If you don't, we will know that developers and big corporate money means more to you then your constituents. | Planning Commission | njs29451@gmail.com              |
| 11/6/2022 1:46 PM  | Franklin Todd Murphy | 53 Pelican Reach, Isle Of Palms,<br>South Carolina 29451                         | Please recommend to City Council that ALL FIVE ordinances be approved. This is the right thing to do to protect IOP from reckless over development. Thank you!  | Planning Commission | ftmurphy@mindspring.com         |
| 11/6/2022 1:05 PM  | Nohn Farris          | 5FairwayDunesLn, Iop, South<br>Carolina 29451                                    | Would like vote to approve all 5 amendments   | Planning Commission | jfarris10@verizon.net           |
| 11/6/2022 10:32 AM | Mrs. Gina Evans      | 51 Seagrass Ln, Isle of Palms,<br>South Carolina 29451                           | Please vote to APPROVE the zoning ordinances. I live on IOP and truly feel our Island is currently maxed out. The resort owner should focus on updating current properties and amenities. (Boardwalk Inn, Tennis Facility, Golf Courses, Swimming Pools, and Resort Restaurants.<br><br>Thank you,<br>Gina and Tabb Evans   | Planning Commission | ginaevans59@gmail.com           |
| 11/5/2022 11:19 PM | Mrs Linda C Sears    | 509 yacht Harbor Villa, Isle of<br>Palms, South Carolina 29451                   | Please vote yes for ordinances  | Planning Commission | lindacsears@gmail.com           |
| 11/5/2022 9:48 PM  | Mr Scott Murphy      | 3 Yacht Harbor Court, Isle of<br>Palms, South Carolina 29451                     | I beg of you to stop the further destruction of Isle of Palms<br>Please approve of all 5 ordinances   | Planning Commission | destinationcharleston@gmail.com |
| 11/5/2022 7:38 PM  | Cindy Iarussi        | 2700 Waterway Blvd, Isle Of<br>Palms, South Carolina 29451                       | Please vote YES on all five ordinances to protect our island green space— and our way of life. Our island is a finite resource with a fragile ecology that NEEDS to be protected. My family is counting on you to put the interests of the island and its residents above the interests of developers. Thank you in advance!  | Planning Commission | islander.iop@gmail.com          |
| 11/5/2022 5:43 PM  | Mrs. Carol L Dawson  | 18 INTRACOASTAL CT, Isle of<br>Palms, SC, Isle Of Palms, South<br>Carolina 29451 | We support a YES vote on all 5 of the proposed zoning ordinances: 2022-08 through 2022-12.<br>We are Homeowners and voters,<br>Carol and Al Dawson  | Planning Commission | alfredgdawson@gmail.com         |
| 11/4/2022 9:59 PM  | Jenny Jacobs         | 22 Pelican Reach, Isle of Palms,<br>South Carolina 29451                         | Please vote "YES" on proposed zoning ordinances 2022-08 through 2022-12. Please help us maintain the quality of life in our community.<br>Thank you!  | Planning Commission | jennymillerjacobs@gmail.com     |

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| 11/4/2022 9:17 PM | Steve and Carly David   | 709 Palm Blvd., Isle Of Palms, South Carolina 29451       | <p>managed a couple of rental properties. We personally have witnessed many changes that have occurred over the years from both perspectives....a resident and a property manager; so we understand, but the island density has changed since 1975, and so should the ordinances.</p> <p>Together we have to make sure that this issue is delt with or the entire island as we know it will forever be changed.... once development has taken over, there is no going back. We are already overbuilt, and it is putting even more strain on the infrastructure of this small island. We all are now feeling the impacts of the new fully operational hotel. More traffic and less parking, more burden on public services, more pressure on private services, more people, residents held captive during the season, and the season keeps growing and growing in volume and length. Charleston, SI, Folly, and even Mt Pleasant realizes this and are taking a stand. Obviously, this is not just a problem here, other cities across the US have passed ordinances to help curb the takeover.</p> <p>The tourism short term rental model has become an increasingly a corporate business model that, if not harnessed, will overwhelm a small community – The developers have no skin in the game on the local level. The company that wants to develop here on the island is a six-billion-dollar business and has one thing in mind....and it ain't the people living on IOP; the goal for the corporation is income...IOP is ripe for the picking; the developer wants to make as much money as possible, and their business model proves that. Just look at the model in both FI and the Cayman Islands. They have a business model that is diametrically opposed to the foundations of a residential community, and the actions they have taken within Wild Dunes in just the past few years demonstrate this fact. It's naïve of us to assume that any developer will do something just because he says he will...we need guardrails in place, and those five ordinances are the guardrails that will keep corporations from gobbling up every space possible. Guardrails remind us that we could fall off a cliff if we aren't careful. We have to be pro-active rather than re-active.</p> <p>The residents have spoken loudly in the meetings and on the petitions about the ordinances. I have lived here since 1981, and I have never before seen the island come together with passion like it has on this issue. Corporate greed is like a cancer, and left unchecked, it will spread. And like cancer, if it you catch it in the early stages, there is a better chance of survival. Here is your chance; as a planning committee, you have the opportunity and the backing of the residents to advise council to stop this spread right now and to vote yes for all the ordinances, and then we can continue to protect the environment and those who live here from a place of strength rather than one of weakness!</p> | Planning Commission | stevedavid@comcast.net |
| 11/4/2022 8:10 PM | Patrick Sullivan        | 46 Linkside Ct, Isle of Palms, South Carolina 29451       | I am an Isle of Palms homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting please vote "yes" for these ordinances. Thank you.  | Planning Commission | psullyone4@gmail.com   |
| 11/4/2022 6:15 PM | Ms Mary Elliott Blankin | 8 Morgan Place Drive, Isle of Palms, South Carolina 29451 | Please support proposed zoning ordinances 2022-08 through 2022-12!<br>Please vote YES for these ordinances!   | Planning Commission | mellyblankin@gmail.com |
| 11/4/2022 5:43 PM | Ms Kelly McKain         | 22 Sandpiper Court, Isle of Palms, South Carolina 29451   | I am a homeowner on IOP. I support the proposed ordinances intended to limit future development and preserve natural areas. Please vote yes for the ordinances and keep IOP awesome! Thank you.   | Planning Commission | kelly.mckain@gmail.com |
| 11/4/2022 3:41 PM | Mr. David A Maner       | 7 Morgans Cove Court, Isle of Palms, South Carolina 29451 | I am an IOP homeowner. I support proposed zoning ordinances 2022-08 through 2022-12. At your November meeting, please vote "yes" for these ordinances.  | Planning Commission | david.maner@gmail.com  |
| 11/4/2022 3:26 PM | Dr Carolyn Anderson     | 3oyster row, IOP, South Carolina 29451                    | As a long standing owner here I ask the planning commission to vote yes on ordinances 2022-8 through 2022-12 to help council decide in favor of maintaining our quality of life on our precious island  | Planning Commission |                        |
| 11/4/2022 3:25 PM | Brenda Rosenthal        | 3013 waterway blvd, Iop, South Carolina 29451             | Please watch the public forum<br>Residents are out and in full force behind a yes to these ordinances<br>Resident quality of life including green space, Sustainbility, etc should supersede any business considerations<br>Please do not sell our soul and culture for greed and financial profits   | Planning Commission | brenda@brenpro.com     |
| 11/4/2022 2:40 PM | Kathy Lubin             | 20 Oyster Row, Isle of Palms, South Carolina 29451        | Please vote yes on all five ordinances and protect our way of life on Isle of Palms. Our beautiful island can NOT handle any more development. Our infrastructure can not handle it. The development of the Sweetgrass Inn has been a disaster relative to traffic, noise, parking and too many people and that was only 153 rooms. Dart/Lowe/Hyatt have been terrible neighbors and have violated almost all of their promises. Please protect our island from overdevelopment and vote yes. Thank you.  | Planning Commission | love2swimnj@yahoo.com  |
| 11/4/2022 1:26 PM | Anthony G Santiago      | 60 Ocean Point, Isle of Palms, South Carolina 29451       | As an IOP resident, I am asking you to pass all 5 proposed WD Zoning Ordinances. Most critical is ordinance # 5 so that we will have the time to better assess any future development proposal based on our City's conditions at that time and not where we were in 1975..  | Planning Commission | tony@taxsearchinc.com  |



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| 11/4/2022 8:57 AM  | Mrs. Ruthann P. Doyle          | 49 Ocean Point Drive, Isle of Palms, South Carolina 29451 | Please protect the integrity of Wild Dunes! Do not allow further development inside Wild Dunes!!  | Planning Commission | rpdiii@msn.com            |
| 11/4/2022 3:05 AM  | Mrs. Brenda Sparks Brastauskas | 10 Oyster Row, Isle Of Palms, South Carolina 29451        | I am against further development within Wild Dunes and support new ordinances that will limit such development.   | Planning Commission | brastauskasb@gmail.com    |
| 11/4/2022 2:29 AM  | Debbie A. White                | #12 48th Ave, Isle of Palms, South Carolina 29451         | I am writing to express my support for approval of the zoning ordinance(s) that serve to limit further development on Isle of Palms. I am greatly concerned about traffic overload and questionable ability of utilities, emergency services, etc., to support this kind of development. I think we will really regret losing the beauty of the open spaces and balance we have now. No one ever laid on their death bed wishing they'd built more condos. Thank you for your consideration and your service!   | Planning Commission | pat_mcarthur@yahoo.com    |
| 11/4/2022 2:19 AM  | Mrs Valerie Ferro              | 16 Beachwood West, Isle of Palms, South Carolina 29451    | Please do NOT allow construction of 330 condos and a 53-room boutique hotel on property that is now used for golf courses, both inside and outside of the Wild Dunes gates. That would be detrimental to the appeal that IOP has for residents and visitors alike. As well as the wildlife that calls this area home. More traffic, congestion, etc isn't good for what IOP was initially intended. Please listen to the residents when we ask this kindly of you.  | Planning Commission | vwferro@gmail.com         |
| 11/4/2022 1:24 AM  | Dave and Terr Sword            | 3504 Waterway Blvd, Isle of Palms, South Carolina 29451   | Planning Committee,<br>We support the ordinances which will limit further development on and about wild dunes.<br>Thank you!<br>Dave and Terri Sword  | Planning Commission | beachedfamily@comcast.net |
| 11/4/2022 12:48 AM | Raymond Jenkins                | 8 Oyster Row, Isle of Palms, South Carolina 29451         | Pass the 5 Ordinances. Do not negotiate with Dart.  | Planning Commission | jenkinsraj45@gmail.com    |
| 10/18/2022 2:55 PM | Kristen L Haynes               | 25 Back Court, Isle of Palms, South Carolina 29451        | PLEASE ADOPT ALL MEASURES 1 THROUGH 5, WITH 5 BEING MOST IMPORTANT! WE NEED A NEWLY REVISED AND UPDATED RPD / PDD FOR WILD DUNES, NOT ONE FROM 1975 (unlike any other community in the entire STATE of SC). I am a Realtor and a General Contractor- and as much as I encourage building, this PDD needs to meet the rest of the state guidelines for over development, protection of natural resources, lagoons and marshes, with the same parking and building restrictions as e very other community in the state of South Carolina, not one from 1975 that is harmful to our natural resources and results in overcrowding and inadequare parking and building restrictions! I wanted to speak at the meeting but I am out of town this week.PLEASE develop the remaining land in IOP and inside Weild Dunes with up to date standards!!! | Planning Commission | khaynes@newhomesnc-sc.com |
| 10/17/2022 5:39 PM | Mr Rick Furlano                | 3107 Waterway Blvd, Isle of Palms, South Carolina 29451   | My wife and I firmly support the approval of the new ordinances for rezoning and creating a conservation-recreation district.This issue affects everyone who lives or visits IOP as our quality of life will be adversely impacted by any future development in Wild Dunes or on the golf courses. We encourage all of the council to maintain their support and to do the right thing for our community. The amount of people who have signed a petition or attended the last meeting is a clear indication of how the majority of residents feel.   | Planning Commission | lop29451@yahoo.com        |

|                    |                 |   |   |                     |                       |
|--------------------|-----------------|---|---|---------------------|-----------------------|
| 10/15/2022 1:04 AM | Dolores Bredder | 31 Fairway Oaks Lane, Isle Of Palms, South Carolina 29451 | <p>South Carolina</p> <p>My name is Dolores Bredder, and I am resident of 31 Fairway Oaks Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>I have watched for many years the overwhelming growth of Isle of Palms and the related hazards that have accompanied the unprecedented growth. It has led to the decay of the island's natural beauty and any additional expansion would only serve to further deteriorate the quality of life for the residents and guests of Isle of Palms. The infrastructure on the island cannot handle the current residents and hotel occupants. The already existing traffic jams endanger lives as Emergency Vehicles cannot get to their destination in a timely manner.</p> <p>Thanks in advance for your consideration.</p> | Planning Commission | loribredder@gmail.com |
|--------------------|-----------------|---|---|---------------------|-----------------------|

|                     |                    |   |  |                     |                        |
|---------------------|--------------------|---|--|---------------------|------------------------|
|                     |                    |   | <p>South Carolina</p> <p>My name is Roger Bredder, and I am resident of Isle of Palms 31 Fairway Oaks Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> |                     |                        |
| 10/15/2022 12:53 AM | mr Roger W Bredder | 31 Fairway Oaks Lane, charlotte, South Carolina 29451 | The Wild Dunes community has already seen the loss of part of our tennis facility with the addition of a parking lot that if paved will further  | Planning Commission | rogerbredder@gmail.com |

|                     |                            |   |  |                     |                  |
|---------------------|----------------------------|---|--|---------------------|------------------|
|                     |                            |   | <p>South Carolina</p> <p>My name is Tonya D. Lackey, and I am resident of Isle of Palms at 2 Fairway Oaks Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> |                     |                  |
| 10/14/2022 11:48 AM | Mrs Tonya Daniel<br>Lackey | 2 Fairway Oaks Lane, Isle of Palms,<br>South Carolina 29451 | I have watched for many years the overwhelming growth of Isle of Palms and the related hazards that have accompanied the unprecedented growth. It has led to the decay of the island's natural beauty and any additional expansion would only serve to further   | Planning Commission | tdlackey@aol.com |

|                     |                       |  |  |                     |                  |
|---------------------|-----------------------|--|--|---------------------|------------------|
|                     |                       |  | <p>South Carolina</p> <p>My name is James D. Lackey, and I am resident of Isle of Palms at 2 Fairway Oaks Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> |                     |                  |
| 10/14/2022 11:46 AM | Mr. James Dean Lackey | 2 Fairway Oaks Lane, Isle of Palms, South Carolina 29451 | I have watched for many years the overwhelming growth of Isle of Palms and the related hazards that have accompanied the unprecedented growth. It has led to the decay of the island's natural beauty and any additional expansion would only serve to further   | Planning Commission | jdlackey@aol.com |

|                    |                |  |   |                     |                       |
|--------------------|----------------|--|---|---------------------|-----------------------|
|                    |                |  | <p>South Carolina</p> <p>My name is Janet Holley, and I am a resident of Isle of Palms at 16 Sandwedge Lane and 41 Twin oak Lane , Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens' comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens' comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens' comments on this ordinance.</p> |                     |                       |
| 10/12/2022 9:52 PM | Janet M Holley | 16 Sandwedge lane, Isle Of Palms, South Carolina 29451 | Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the   | Planning Commission | jholley1957@gmail.com |



|                    |                    |  |  |             |                     |                       |
|--------------------|--------------------|--|--|-------------|---------------------|-----------------------|
| 10/12/2022 9:46 PM | Mrs. Jill W Ilario | 2 Sandwedge Lane, Isle Of Palms,<br>South Carolina 29451 | <p>South Carolina</p> <p>My name is Jill Ilario, and I am resident of Isle of Palms at 2 Sandwedge Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>I have watched for many years the overwhelming growth of Isle of Palms and the related hazards that have accompanied the unprecedented growth. It has led to the decay of the island's natural beauty and any additional expansion would only serve to further deteriorate the quality of life for the residents and guests of Isle of Palms</p> <p>It seems the only reason for any continued expansion is greed. Enough is enough.</p> <p>Thanks in advance for your consideration.</p> | Jill Ilario | Planning Commission | jillilario@icloud.com |
|--------------------|--------------------|--|--|-------------|---------------------|-----------------------|

|                    |                   |  |   |                     |                      |
|--------------------|-------------------|--|---|---------------------|----------------------|
|                    |                   |  | <p>South Carolina</p> <p>My name is Ricky Holley, and I am a resident of Isle of Palms at 16 Sandwedge Lane and 41 Twin oak Lane , Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens' comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens' comments on this ordinance.</p> <p>I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens' comments on this ordinance.</p> |                     |                      |
| 10/12/2022 9:46 PM | Mr Ricky H Holley | 16 Sandwedge lane, Isle Of Palms, South Carolina 29451 | Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the   | Planning Commission | rholley955@gmail.com |

|                    |              |  |  |                     |                         |
|--------------------|--------------|--|--|---------------------|-------------------------|
| 10/12/2022 7:18 PM | Scott Ilario | 2 Sandwedge Lane, Isle of Palms,<br>South Carolina 29451 | <p>South Carolina</p> <p>My name is Scott Ilario, and I am resident of Isle of Palms at 2 Sandwedge Lane, Isle of Palms, SC 29451. Please see my comments below supporting the new ordinances that were first read on October 11, 2022.</p> <p>1. I am in favor of Ordinance 2022-08 which, among other things, provides for a new conservation-recreation district. It is my strong preference that we do not go into any negotiation on any of this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>2. I am also in favor of Ordinance 2022-09, which, among other things, provides for rezoning of certain properties as outlined in Exhibit 1 of the Ordinance. It is my strong preference that we do not go into any negotiation on any of these ordinances. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>3. I am also in favor of Ordinance 2022-10, which, among other things, rezones certain properties from the SR-1 single family residential district including the 11 properties designated in the ordinance. It is my strong preference that we do not go into any negotiation on any this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>4. I am also in favor of Ordinance 2022-11, which, among other things, provides clarification by correcting and deleting certain scrivener's errors. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>5. Most importantly, I am also in favor of Ordinance 2022-12, which, among other things, reduces the maximum number of dwelling units permitted in the Wild Dunes PRD district from 2,499 units to 2,119 unit and to reduce the maximum number of Inn units permitted in the PRD district from 350 units to 297 units. It is my strong preference that we do not go into any negotiation on this ordinance. I request that this comment be filed with the citizens comments on this ordinance.</p> <p>I have watched for many years the overwhelming growth of Isle of Palms and the related hazards that have accompanied the</p> | Planning Commission | scottilario@outlook.com |
|--------------------|--------------|--|--|---------------------|-------------------------|



## **ENVIRONMENTAL ADVISORY COMMITTEE**

**4:00pm, Thursday, October 27, 2022**

**1207 Palm Boulevard, Isle of Palms, SC**

**and broadcasted live on YouTube: <https://www.youtube.com/user/cityofisleofpalms>**

### **MINUTES**

#### **1. Call to order**

Present: Deb Faires, Linda Plunkett, Mary Pringle, Jonathan Knoche, Belvin Olasov, Sandra Brotherton

Absent: Doug Hatler, Council Member Bogosian

Staff Present: Director Kerr (via Zoom), Zoning Administrator Simms

#### **2. Approval of previous meeting's minutes**

**MOTION: Dr. Plunkett made a motion to approve the amended minutes of the September 9, 2022 meeting, and Mr. Knoche seconded the motion. The amended minutes passed unanimously.**

Ms. Pringle noted two spelling errors under Miscellaneous Business.

#### **3. Citizens' Comments**

Elizabeth Fisher of Fisher Recycling said two collections of glass have already been made from the two drop-off spots on the island. The next step is to create more social media announcements about the collection efforts and to explain to people why it is important to leave glass in these containers. She will be working with Roots on the Rise marketing to craft messages to educate and inform but also to promote that the Isle of Palms is the first municipality to be offering collection sites. Ms. Fisher has also joined several IOP-specific Facebook pages to help spread the word to residents. She will provide a press release to the Committee and Administrator Fragoso about the glass recycling pickups. Ms. Lee said information about the glass recycling can be added to the City's message board.

#### **4. Old Business**

##### **A. Wildlife**

Director Kerr said the turtle signs are ready to be ordered. Ms. Lee said that the turnaround time is 10 days once they are ordered. They will be put up during the offseason.

Ms. Pringle shared that she was invited to speak to the Garden Club in September about using native plants and gardening to benefit wildlife. She has been approached to write a series of

articles in *The Island Eye*. Dr. Plunkett added that the Garden Club would still like to add information to the City's website about good plants to grow, soil erosion, and island wildlife.

Ms. Pringle gave a turtle season update. She reported that of the 8,004 turtle nests in South Carolina, 43 were on the Isle of Palms. The nests had a 74.1% hatch rate, which was lower than they would have wanted but coyotes ate 371 eggs. Approximately 4,602 new baby loggerhead turtles made it into the ocean from the Isle of Palms.

Ms. Pringle also reported that following Hurricane Ian three octopuses washed up on shore. One died and two were returned to the ocean.

**B. Litter**

Update on glass recycling discussed during Citizen's Comments

**C. Water Quality**

Director Kerr reported that the Water Quality group met to discuss next steps. He said that he and Zoning Administrator Simms have some testing kits and are waiting on some rain to collect samples at 30<sup>th</sup> Avenue and at the Marina. The samples will then be taken to a lab in Summerville for testing. Charleston Water Keepers will then analyze the results and provide feedback to the City. If the results are indicative of anything requiring a response, they will discuss next steps with the Committee.

**5. New Business**

**A. Discussion about food composting**

Director Kerr said he has received information about a food composting program being done in the City of Charleston that would run similarly to the glass recycling program. Mr. Olasov agreed that the program would run the same way and that the City of Folly Beach is also running such a program. He said there are two locked 64-gallon carts that are picked up twice a week at a cost of \$250/week. He believes the cost to be inclusive of hauling. Program participants can pickup the resulting compost at the Bees Ferry Landfill at no cost. Training starts in January and composting bins are provided to participants.

Dr. Plunkett said she would like to see more specific details about the program before moving forward with a recommendation. She suggested that a contract include a similar liability clause used in the glass recycling contract. Ms. Brotherton would like to see information about maintaining the cleanliness of the site and other frequently asked questions.

Director Kerr said there may be room at the marina for a collection bin. He asked Mr. Olasov to bring a proposal to the next meeting. Dr. Plunkett said that for those not interested in food composting, the effort will show the Committee's commitment to sustainability.

**B. Discussion about grants from Palmetto Pride**

Ms. Brotherton referred to a summary of available grants from Palmetto Pride that the City may qualify for. Discussion ensued as to whether or not the beach clean up crew would qualify for

any of the grants, and it was determined that they receive support from the South Carolina Aquarium and they are not a 501(c)(3) and so do not qualify for grant funding. Ms. Brotherton would like to take a list of projects or efforts to Sarah Lyles at Palmetto Pride to consider for grant funding.

Director Kerr asked if grant funding could be used to offset the cost of one Beach Services Officer since they are the ones on the beach finding holes and picking up litter. Ms. Brotherton said she will ask about a grant that pays up to \$20,000 for a litter control officer. She will clarify if it can fund an existing position.

Dr. Plunkett noted that the City does not have to have an official affiliation with Palmetto Pride to qualify for grants.

Ms. Brotherton will do some more research and bring information back to the Committee.

#### **6. Miscellaneous Business**

Discussion ensued about submitting an article to *The Island Eye* about the glass recycling program. Ms. Faires would like to see a regular article from this committee in *The Island Eye*.

Dr. Plunkett said she would like to speak with Council Member Bogosian about the makeup of the Committee and whether or not it will include students in the future. Whether or not those positions are part of determining a quorum needs to be clarified. Director Kerr said staff has been discussing the feasibility of having students on the committee. Dr. Plunkett pointed out that the student spots on the Committee were the ones to expire after one year.

#### **7. Adjournment**

Dr. Plunkett made a motion to adjourn, and Mr. Olasov seconded the motion. The meeting was adjourned at 5:09pm.

Respectfully submitted,

Nicole DeNeane  
City Clerk



ORDINANCE 2022-08

AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE FOR A NEW CONSERVATION-RECREATION DISTRICT.

BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. That Section 5-4-40, “CO conservation district,” is hereby deleted in its entirety and replaced with a new Section 5-4-40, titled “CR conservation-recreation district,” to state as follows:

“Sec. 5-4-40. CR conservation-recreation district.

- (1) *Purpose.* The purpose of the CR conservation-recreation district is:
  - a. To provide for an appropriate valuation that reflects the conservation and recreation use of land.
  - b. To ensure the preservation of significant and vital natural resources.
  - c. To lessen the hazards of loss of property, life, and the reduction of health and public safety due to periodic flooding by restricting uses in such areas.
  - d. To provide for improved public and/or private recreation activities.
  - e. To ensure the preservation of existing public and/or private recreation activities.
  - f. To provide for scenic easements to preserve the community heritage.
- (2) *District boundary.* The boundaries of the CR conservation-recreation district are generally described as including a strip or band of water, beaches, marshlands, and pieces of natural and manmade highland areas in the marshlands which contain less than two (2) acres, up to the mean high-water mark or abutting the primary highland, which surrounds the entire perimeter of the City, as graphically depicted on the Official Zoning Map. The CR conservation-recreation district shall also include the golf courses and tennis facilities as graphically depicted on the Official Zoning Map.
- (3) *Permitted uses.* The following uses are permitted within the CR

conservation-recreation district so long as the use does not materially and adversely affect water quality or the natural resources of the district, and such use has received all applicable governmental regulatory approval:

- a. Outdoor recreational uses including swimming, fishing, beach-going, boat ramps, docks, piers, lifeguard stations, golf courses, tennis courts, and natural preserves.
- b. Public utility lines.
- c. A use conducted pursuant to a franchise granted by the City Council.
- d. A use conducted pursuant to a City-sponsored activity or event.
- e. Beach renourishment.”

SECTION 2. That should any part of this Ordinance be held invalid by a Court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 3. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 4. That this Ordinance take effect and be in full force immediately.

PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)  
Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading:\_\_\_\_\_

Public Hearing:\_\_\_\_\_

Second Reading:\_\_\_\_\_

Ratification:\_\_\_\_\_

ORDINANCE 2022-09

AN ORDINANCE ADOPTING AMENDMENTS TO THE OFFICIAL ZONING MAP OF THE CITY OF ISLE OF PALMS TO PROVIDE FOR A NEW CONSERVATION-RECREATION (CR) ZONING DISTRICT AND TO REZONE CERTAIN PROPERTIES FROM THE SR-1 AND PDD DISTRICTS TO THE NEW CR ZONING DISTRICT AS SHOWN ON EXHIBIT I.

BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. That the Official Zoning Map of the City of Isle of Palms is hereby adopted as amended to provide for a new Conservation-Recreation (CR) zoning district and to rezone certain properties from the SR-1 and PDD districts to the new CR zoning district, as set forth in Exhibit I, attached hereto and incorporated herein by reference.

SECTION 2. That should any part of this Ordinance be held invalid by a Court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 3. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 4. That this Ordinance take effect and be in full force immediately.

PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)

Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading: \_\_\_\_\_

Public Hearing: \_\_\_\_\_

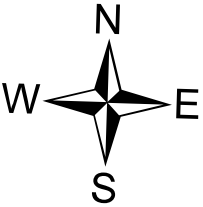
Second Reading: \_\_\_\_\_

Ratification: \_\_\_\_\_

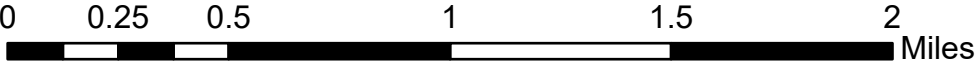
EXHIBIT I

(Attach New Zoning Map Dated \_\_\_\_\_, 2022)

# City of Isle of Palms Official Zoning Map



Isle of Palms Connector



**Legend**

- Conservation-Recreation District
- Preservation Overlay District 1
- Preservation Overlay District 2
- Preservation Overlay District 3

**Zoning**

- GC1
- GC2
- GC3
- LC
- PDD
- SR2
- SR3
- SR1

Note: The Conservation (CO) District includes all properties which were designated as Critical Area by the South Carolina Office of Ocean and Coastal Resource Management and isolated pieces of natural and man-made highland.

On May 17, 2017 a clerical error was corrected by changing TMS#s 568-11-00-174, 177 and 451 from SR1 to GC1.

By the official action of the City Council, the following changes were made to the official zoning map:

The block bound by J.C. Long Boulevard, Pavillion Drive, 10th Avenue and Ocean Boulevard (block30) was changed to GC3 zoning district (September 26, 2004).

All lots on the seaward side of Ocean Boulevard, from Breach Inlet to 10th Avenue were changed to the SR1 (P2) zoning district (November 26, 2006).

Lots between 53rd Avenue and 56th Avenue were changed to SR3 zoning district (February 23rd, 2016). Ocean front lots and pedestrian beach access paths between 53rd Avenue and 56th Avenue were changed to SR3 (P3) zoning district (February 23rd, 2016).

The Conservation (CO) District was changed to the Conservation-Recreation District; golf course and tennis court parcels were added to the Conservation-Recreation District (Date Adopted).



Data Source: City of Isle of Palms

Coordinate System: NAD 1983 State Plane South Carolina FIPS 3900  
Ft Intl  
Projection: Lambert Conformal Conic

Created August 2022

This is to certify that this is the Official Zoning Map referred to in section 5-4-3 of the Zoning Ordinance of the City of Isle of Palms, S.C. adopted pursuant to the 1994 Comprehensive Planning and Enabling Act on June 27, 2000.

Approved by: \_\_\_\_\_

Attested by: \_\_\_\_\_

## ORDINANCE 2022-10

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF ISLE ~~OF~~ PALMS TO REZONE CERTAIN PROPERTIES FROM THE SR-1 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT AND PDD PLANNED DEVELOPMENT ZONING DISTRICT TO THE CR CONSERVATION-RECREATION ZONING DISTRICT, INCLUDING THE ~~11~~12 PROPERTIES DESIGNATED AS TMS# 571-00-00-001, TMS# 604-01-00-001, TMS# 604-01-00-059, TMS# 571-08-00-226, TMS# 604-00-00-032, TMS# 604-00-00-033, TMS# 604-00-00-034, TMS# 604-00-00-035, TMS# 604-00-00-036, TMS# 604-05-00-185, ~~AND~~ TMS# 604-10-00-206, AND TMS# 604-02-00-053 AS SHOWN ON THE PLATS ATTACHED AS EXHIBIT I.

BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. That the Official Zoning Map of the City is hereby amended by rezoning the following 3 properties from the SR-1 Single-Family Residential zoning district to the CR Conservation-Recreation zoning district:

- a. The property owned by Wild Dunes LLC and designated as TMS# 571-00-00-001, (approximately 68.492 acres), known as “Tract G, Block A, Parcel 1, Wild Dunes Harbor Golf Course” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated June 26, 1990 and recorded at the Charleston County RMC Office on August 28, 1990 in Plat Book CA at page 65; and
- b. The property owned by Wild Dunes LLC and designated as TMS# 604-01-00-001, (approximately 0.47 ~~acres~~), known as “Tract F, Block A, Parcel C-1” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated May 21, 1987 and recorded at the Charleston County RMC Office on June 12, 1987 in Plat Book BN at page 102; and
- c. The property owned by Wild Dunes LLC and designated as TMS# 604-01-00-059, (approximately 28,659 square feet), known as “Tract F, Block A, Parcel D” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated September 25, 1984 and recorded at the Charleston County RMC Office on November 9, 1984 in Plat Book BC at page 028.

Said plats referenced are attached hereto as Exhibit I and incorporated herein by reference.



SECTION 2. That the Official Zoning Map of the City is hereby amended by rezoning the following 8-9 properties from the PDD Planned Development zoning district to the CR Conservation-Recreation zoning district:

- a. The property owned by Wild Dunes LLC and designated as TMS# 571-08-00-226, (approximately 2.207 acres), known as “Tract G, Block J” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated March 1, 1994 and recorded at the Charleston County RMC Office on April 21, 1999 in Plat Book DB at page 904; and
- b. The property owned by Wild Dunes LLC and designated as TMS# 604-00-00-032, (approximately 65.462 acres), known as “Tract G, Block Y, Parcel 1” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated October 28, 1990 and recorded at the Charleston County RMC Office on November 1, 1990 in Plat Book CB at pages 002 and 003; and
- c. The property owned by Wild Dunes LLC and designated as TMS# 604-00-00-033, (approximately 43.520 acres), known as “Tract G, Block X” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated October 27, 1990 and recorded at the Charleston County RMC Office on November 1, 1990 in Plat Book CB at pages 004 and 005; and
- d. The property owned by Wild Dunes LLC and designated as TMS# 604-00-00-034, (approximately 6.8 acres), known as “Tract G, Block W, Parcels 1 and 2” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated October 29, 1990 and recorded at the Charleston County RMC Office on November 1, 1990 in Plat Book CB at page 006; and
- e. The property owned by Wild Dunes LLC and designated as TMS# 604-00-00-035, (approximately 11.77 acres), known as “Tract G, Block V” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated October 29, 1990 and recorded at the Charleston County RMC Office on November 1, 1990 in Plat Book CB at page 006; and
- f. The property owned by Wild Dunes LLC and designated as TMS# 604-00-00-036, known as “Tract G, Block H” containing approximately 20.780 acres as shown on that certain plat entitled “Plat Showing Tract G, Block G and Tract G, Block H, The Harbor Course, Wild Dunes, City of Isle of Palms, Charleston County, South Carolina” prepared by Engineering, Surveying & Planning, Inc. dated February 6, 1992 and also “Tract G, Block F” containing approximately 19.018 acres, as shown on that certain plat entitled “Plat Showing Tract G, Block F, The Harbor Course, Wild Dunes, City of Isle of Palms, Charleston County, South Carolina” consisting of 2 sheets prepared by Engineering, Surveying & Planning, Inc. dated January 28, 1992; and
- g. The property owned by Wild Dunes LLC and designated as TMS# 604-05-00-

185, (approximately 6.889 acres), known as “Tract G, Block Z, Parcel 1” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated October 27, 1990 and recorded at the Charleston County RMC Office on November 1, 1990 in Plat Book CB at page 004; and

h. The property owned by Wild Dunes LLC and designated as TMS# 604-10-00-206, (approximately 4.97 acres), known as “Parcel T” as shown on that certain plat prepared by Engineering, Surveying & Planning, Inc. dated February 21, 1994 and recorded at the Charleston County RMC Office on March 10, 1994 in Plat Book CP at page 089; and-

h.i. The property owned by Wild Dunes LLC and designated as TMS# 604-02-00-053 (approximately 6.869 acres), known as “Tract G, Block G” as shown on that certain plat entitled “Plat Showing Tract G, Block G and Tract G, Block H, The Harbor Course, Wild Dunes, City of Isle of Palms, Charleston County, South Carolina” prepared by Engineering, Surveying & Planning, Inc. dated February 6, 1992.

Said plats referenced are attached hereto as Exhibit I and incorporated herein by reference.

SECTION 3. That should any part of this Ordinance be held invalid by a Court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 4. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 5. That this Ordinance take effect and be in full force immediately.

PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)

Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading:\_\_\_\_\_

Public Hearing:\_\_\_\_\_

Second Reading:\_\_\_\_\_

Ratification:\_\_\_\_\_

**EXHIBIT I**

(Attach Plats)









LOCATION MAP

ACREAGE FINAL

Approved by City Council

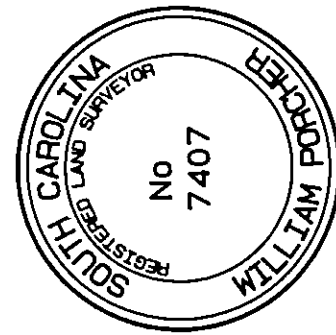
of the City of Isle of Palms

This day of

Clerk

| REFERENCE PLATS RECORDED IN THE CHARLESTON COUNTY PUBLIC OFFICE | BOOK         | PAGE |
|---|--------------|------|
| PLAT BY PORCHER   | AG           | 43   |
| MAY 28 1980   | AG           | 81   |
| JUNE 28 1980  | AR           | 117  |
| AUGUST 28 1980  | AR           | 127  |
| SEPTEMBER 22 1980   | BN           | 98   |
| SEPTEMBER 22 1980   | BN           | 20   |
| DECEMBER 22 1980  | AS           | 1    |
| MARCH 17 1981   | AV           | 50   |
| MARCH 23 1981   | AS           | 121  |
| APRIL 29 1981   | AT           | 93   |
| JUNE 23 1981  | AV           | 48   |
| JANUARY 19 1982   | AU           | 147  |
| OCTOBER 30 1982   | AV           | 149  |
| OCTOBER 5 1982  | AV           | 164  |
| OCTOBER 21 1983   | AV           | 178  |
| JULY 11 1983  | BS           | 178  |
| FEBRUARY 24 1984  | NOT RECORDED |      |
| JULY 16 1984  | BB           | 18   |
| SEPTEMBER 25 1984   | BC           | 100  |
| AUGUST 15 1985  | BT           | 7    |
| APRIL 14 1985   | BT           | 7    |
| OCTOBER 21 1985   | BL           | 17   |
| OCTOBER 21 1985   | BL           | 19   |
| OCTOBER 21 1985   | BL           | 16   |
| APRIL 21 1987   | BD           | 37   |
| APRIL 22 1987   | BD           | 37   |
| APRIL 22 1987   | BD           | 51   |
| OCTOBER 16 1989   | NOT RECORDED |      |

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT  
A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL  
LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT  
SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN  
FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE  
NOT WARRANTED TO BE EXACTLY AS SHOWN NOR ARE ALL UTILITIES  
WARRANTED TO BE SHOWN.



I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have the true dimensions of the property shown hereon that all necessary markers have been installed that the precision of the field survey is 1/10,000 and that the same were determined by the coordinate method of survey.

WILLIAM PORCHER

LAND SURVEYOR

S.C. Reg. No. 7407

BK Y197PC222

TRACT "B", BLOCK "R"

FAIRWAY

TRACT "B", BLOCK "T"

LAKE

DRAINAGE & UTILITY EASEMENT

40 DRAINAGE EASEMENT

20 UTILITY EASEMENT

20 UTILITY EASEMENT

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3X Z 55-650

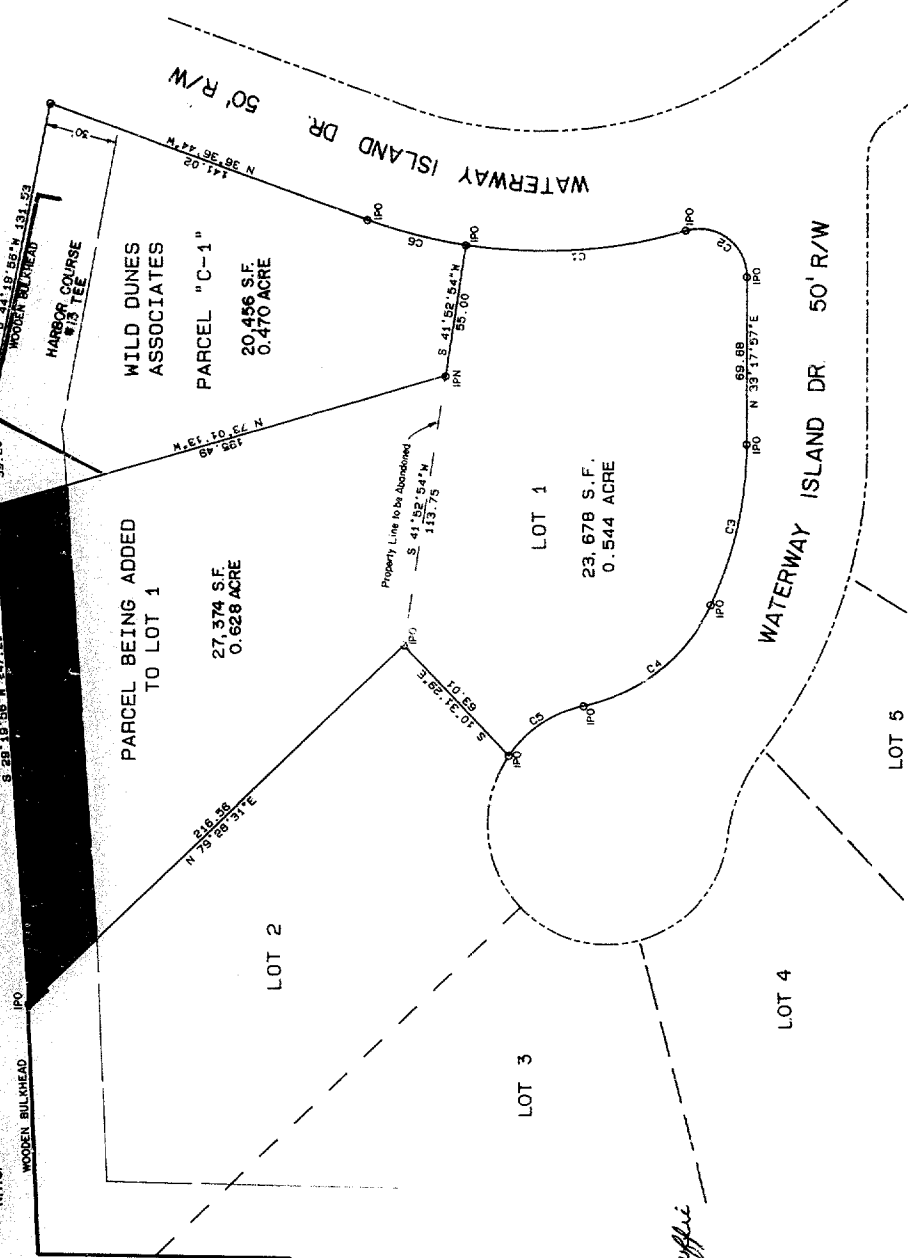
Charlotte, South Carolina  
Office of Registrar Mesne Conveyance  
This plat is recorded in the day of June 1987  
in Plat Book 101, Page 28, and the original plat (a copy thereof) delivered to the Registrar.

Robert N. King  
Registrar Mesne Conveyance

| CURVE | DELTA        | RADIUS | ARC   | TANGENT | CHORD | CHORD BEG       |
|-------|--------------|--------|-------|---------|-------|-----------------|
| 1     | 25° 04' 55"  | 210.85 | 92.21 | 48.86   | 91.48 | N 60° 39' 23" W |
| 2     | 105° 25' 57" | 20.00  | 37.38 | 28.78   | 32.05 | N 18° 57' 02" E |
| 3     | 105° 25' 57" | 20.00  | 37.38 | 28.78   | 32.05 | N 18° 57' 02" E |
| 4     | 53° 34' 05"  | 70.00  | 70.00 | 37.85   | 67.54 | N 84° 48' 54" E |
| 5     | 43° 39' 38"  | 50.00  | 38.04 | 20.00   | 37.13 | N 88° 44' 08" E |
| 6     | 11° 30' 22"  | 210.85 | 42.30 | 21.22   | 42.23 | N 42° 21' 05" W |

MORGAN CREEK

LOCATION MAP  
N.T.S.



PLAT SHOWING ADJUSTMENT  
OF PROPERTY LINE BETWEEN  
LOT 1 AND PARCEL "C"  
TRACT "F", BLOCK "A"  
WATERWAY ISLAND

WILD DUNES - CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
MAY 21, 1987  
SCALE: 1" = 40'

SUBDIVISION FINAL  
Approved by City Council

of the City of Isle of Palms

This 10 day of June 1987

William S. McSpaffin  
Clerk



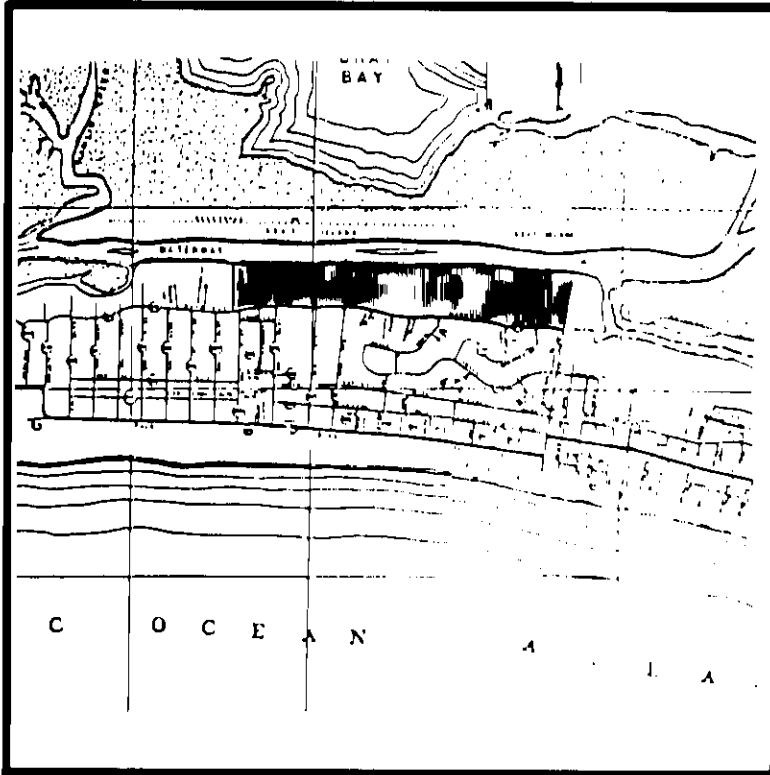
I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon, that this plat shows the true dimensions of the property, that all necessary markers have been installed and the precision is 1/10,000.

William Porcher

WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407

ENGINEERING, SURVEYING, & PLANNING, INC.  
16 CHARLOTTE ST., CHARLESTON, SOUTH CAROLINA

DWG. NO. LL-944



LOCATION MAP  
N.T.S.

ACREAGE FINAL

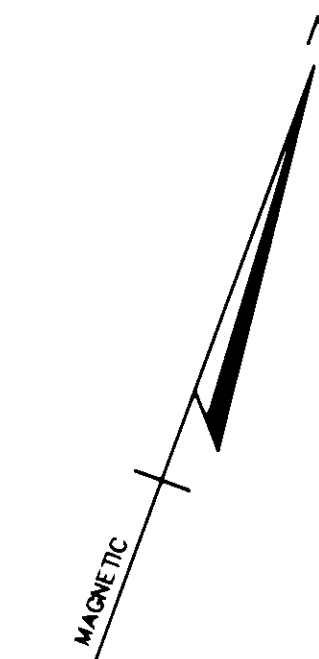
Approved by City Council

of the City of Isle of Palms

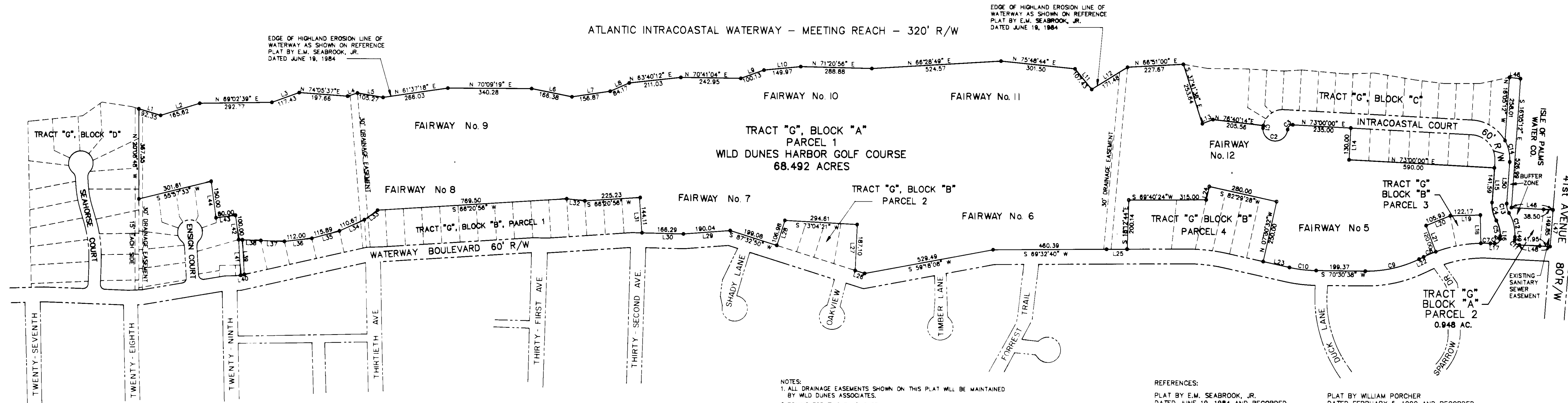
This day of August, 1990

*William Porcher*  
Clerk

| LINE | BEARING       | DISTANCE | LINE | BEARING       | DISTANCE | CURVE | DELTA      | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG     |
|------|---------------|----------|------|---------------|----------|-------|------------|--------|--------|---------|--------|---------------|
| 1    | N 86°45'39" E | 92.35    | 26   | S 87°32'50" W | 40.09    | 1     | 007°10'00" | 80.00  | 10.01  | 5.01    | 10.00  | S 13°25'00" E |
| 2    | N 52°28'28" E | 165.62   | 27   | N 17°34'49" W | 187.10   | 2     | 180°00'00" | 50.00  | 157.08 |         | 100.00 | N 73°00'00" E |
| 3    | N 48°59'20" E | 117.43   | 28   | S 02°27'10" E | 105.98   | 3     | 090°00'00" | 20.00  | 31.42  | 20.00   | 28.28  | N 28°00'00" E |
| 4    | N 51°21'18" E | 41.71    | 29   | S 65°37'27" W | 190.04   | 4     | 034°42'13" | 128.01 | 76.33  | 39.37   | 75.16  | S 33°26'18" E |
| 5    | N 79°38'08" E | 105.27   | 30   | S 71°19'43" W | 166.29   | 5     | 033°39'55" | 113.62 | 66.76  | 34.37   | 65.80  | S 33°57'27" E |
| 6    | N 81°23'47" E | 188.38   | 31   | N 23°39'04" W | 144.11   | 6     | 090°00'00" | 20.00  | 31.42  | 20.00   | 28.28  | S 27°52'31" W |
| 7    | N 61°32'08" E | 156.87   | 32   | S 76°17'53" W | 74.11    | 7     | 004°01'57" | 551.36 | 38.80  | 19.41   | 38.80  | S 70°51'33" W |
| 8    | N 46°07'15" E | 84.17    | 33   | S 33°50'45" W | 65.79    | 8     | 005°34'54" | 551.36 | 53.71  | 26.88   | 53.69  | S 46°38'24" W |
| 9    | N 50°10'22" E | 100.13   | 34   | S 45°22'02" W | 110.67   | 9     | 026°39'41" | 483.07 | 224.79 | 114.47  | 222.77 | S 57°10'48" W |
| 10   | N 64°27'04" E | 149.97   | 35   | S 54°44'20" W | 115.88   | 10    | 011°58'50" | 519.89 | 108.67 | 54.53   | 108.47 | S 76°30'03" W |
| 11   | S 59°03'22" E | 107.43   | 36   | S 63°24'28" W | 112.00   | 11    | 090°00'00" | 20.00  | 31.42  | 20.00   | 28.28  | N 62°07'28" W |
| 12   | N 38°00'47" E | 171.48   | 37   | S 72°00'06" W | 95.76    | 12    | 033°39'55" | 173.62 | 102.01 | 52.53   | 100.55 | N 35°57'27" W |
| 13   | N 48°40'06" E | 48.55    | 38   | S 72°00'06" W | 74.69    | 13    | 034°42'13" | 66.01  | 39.98  | 20.63   | 39.38  | N 33°26'18" W |
| 14   | S 17°00'00" E | 130.00   | 39   | S 23°22'13" E | 141.04   | 14    | 032°27'42" | 160.00 | 90.85  | 46.58   | 89.44  | N 32°19'03" W |
| 15   | S 16°05'12" E | 141.59   | 40   | S 57°15'57" W | 15.45    |       |            |        |        |         |        |               |
| 16   | S 17°07'29" E | 11.55    | 41   | N 23°22'15" W | 144.99   |       |            |        |        |         |        |               |
| 17   | S 72°52'31" W | 17.70    | 42   | N 27°33'27" W | 100.00   |       |            |        |        |         |        |               |
| 18   | N 21°08'26" W | 115.00   | 43   | S 62°26'33" W | 80.00    |       |            |        |        |         |        |               |
| 19   | S 68°18'56" W | 122.17   | 44   | N 27°33'27" W | 150.00   |       |            |        |        |         |        |               |
| 20   | S 51°14'12" W | 105.93   | 45   | N 76°37'21" E | 45.05    |       |            |        |        |         |        |               |
| 21   | S 40°34'09" E | 120.00   | 46   | N 72°56'34" E | 169.50   |       |            |        |        |         |        |               |
| 22   | S 43°50'57" W | 20.81    | 47   | S 15°34'49" E | 149.85   |       |            |        |        |         |        |               |
| 23   | S 82°29'28" W | 109.35   | 48   | S 72°52'31" W | 125.00   |       |            |        |        |         |        |               |
| 24   | S 07°30'32" E | 55.81    | 49   | N 17°07'29" W | 11.55    |       |            |        |        |         |        |               |
| 25   | S 69°40'24" W | 83.61    | 50   | N 16°05'12" W | 170.00   |       |            |        |        |         |        |               |



LEGEND:  
— IRON PIPE OLD (FOUND)  
— IRON PIPE NEW (SET)



- NOTES:
1. ALL DRAINAGE EASEMENTS SHOWN ON THIS PLAT WILL BE MAINTAINED BY WILD DUNES ASSOCIATES.
  2. ZONING FOR THIS PLAT IS SR 1
  3. TAX MAP NUMBER 571-00-00

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT:  
A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE NOT WARRANTED TO BE EXACTLY AS SHOWN NOR ARE ALL UTILITIES WARRANTED TO BE SHOWN.

REFERENCES:

PLAT BY E.M. SEABROOK, JR.  
DATED JUNE 19, 1984 AND RECORDED  
IN PLAT BOOK 88, PAGE 20 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED APRIL 22, 1986 AND RECORDED  
IN PLAT BOOK 84, PAGE 28 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED APRIL 22, 1986 AND RECORDED  
IN PLAT BOOK 84, PAGE 31 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK 87, PAGE 158 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED FEBRUARY 5, 1990 AND RECORDED  
IN PLAT BOOK 87, PAGE 159 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

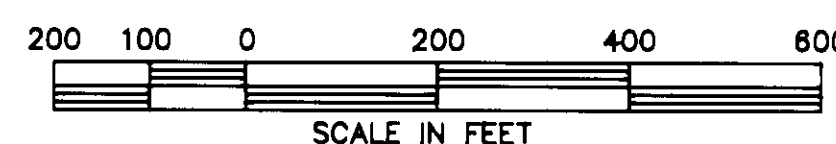
PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK 87, PAGE 160 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK 87, PAGE 161 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE



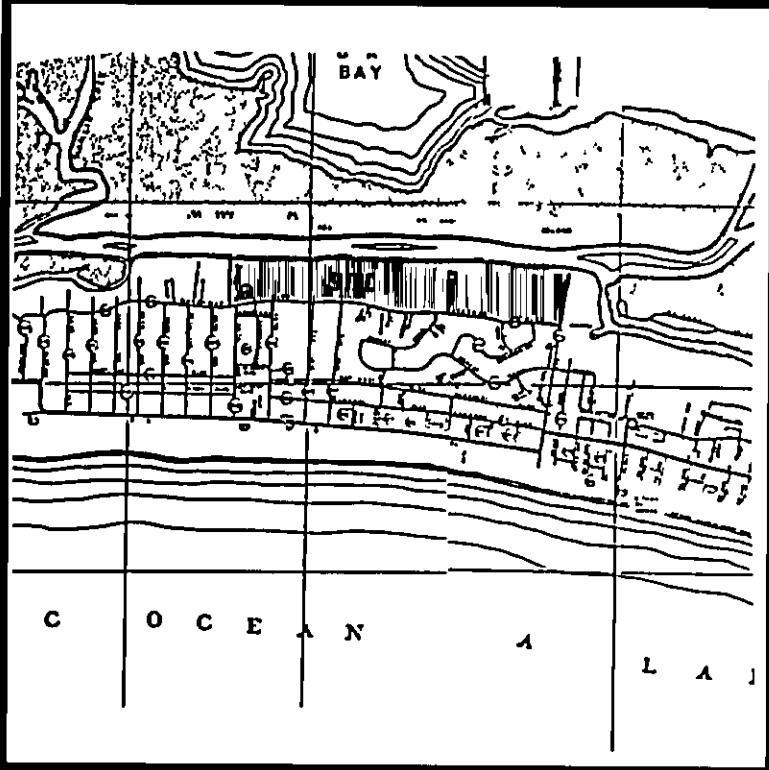
I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon, that this plat shows the true dimensions of the property, that all necessary markers have been installed, that the precision of the field survey is 1/10,000 and the area was determined by the coordinate method of area calculation.

*William Porcher*  
WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407



ENGINEERING, SURVEYING, & PLANNING, INC.  
16 CHARLOTTE ST., CHARLESTON, SOUTH CAROLINA

PLAT SHOWING  
TRACT "G", BLOCK "A", PARCEL 1 &  
TRACT "G", BLOCK "A", PARCEL 2  
A PORTION OF ISLE OF PALMS  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
SCALE: 1" = 200'  
JUNE 26, 1990



LOCATION MAP  
NTS

ACREAGE FINAL  
Approved by City Council

of the City of Isle of Palms

This 23<sup>rd</sup> day of August 1990

*Wanda L. Miller*  
Clerk

Charleston South Carolina  
Office of Register Mesne Conveyance

Plat recorded this 28<sup>th</sup> day of Aug. 1990 at  
11:00 o'clock in Plat Book 08 Page 65 and tracing cloth  
copy filed in File 5 Drawer Folder 39 Drawing  
No. 43 Original plat (a *white* print) delivered  
to *Wild Dunes Assoc.*

*Robert N. King*  
Register Mesne Conveyance

| LINE | BEARING      | DISTANCE | LINE | BEARING      | DISTANCE | CURVE | DELTA     | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG    |
|------|--------------|----------|------|--------------|----------|-------|-----------|--------|--------|---------|--------|--------------|
| 1    | N 86 45 39 E | 92.35    | 26   | S 87 32 50 W | 40.09    | 1     | 007 10 00 | 80.00  | 10.01  | 5.01    | 10.00  | S 13 25 00 E |
| 2    | N 52 28 28 E | 185.62   | 27   | N 17 34 49 W | 187.10   | 2     | 180 00 00 | 50.00  | 157.08 |         | 100.00 | N 73 00 00 E |
| 3    | N 49 59 20 E | 117.43   | 28   | S 02 27 10 E | 106.98   | 3     | 090 00 00 | 20.00  | 31.42  | 20.00   | 28.28  | N 28 00 00 E |
| 4    | N 51 24 18 E | 44.71    | 29   | S 65 37 27 W | 190.04   | 4     | 034 42 13 | 126.01 | 78.33  | 39.37   | 75.16  | S 33 26 18 E |
| 5    | N 79 38 08 E | 105.27   | 30   | S 71 19 43 W | 166.29   | 5     | 033 39 55 | 113.62 | 66.76  | 34.37   | 65.80  | S 33 57 27 E |
| 6    | N 81 23 47 E | 166.38   | 31   | N 23 39 04 W | 144.11   | 6     | 090 00 00 | 20.00  | 31.42  | 20.00   | 28.28  | S 27 52 31 W |
| 7    | N 81 32 06 E | 156.87   | 32   | S 76 17 53 W | 74.11    | 7     | 004 01 57 | 551.36 | 53.71  | 26.88   | 53.69  | S 46 38 24 W |
| 8    | N 46 07 15 E | 84.17    | 33   | S 33 50 45 W | 65.79    | 8     | 005 34 54 | 551.36 | 53.71  | 26.88   | 53.69  | S 46 38 24 W |
| 9    | N 50 10 22 E | 100.13   | 34   | S 45 22 02 W | 110.67   | 9     | 026 39 41 | 483.07 | 224.79 | 114.47  | 222.77 | S 57 10 48 W |
| 10   | N 64 27 04 E | 149.87   | 35   | S 54 44 20 W | 115.69   | 10    | 014 58 50 | 519.68 | 108.67 | 54.53   | 108.47 | S 76 30 03 W |
| 11   | S 59 03 22 E | 107.43   | 36   | S 63 24 25 W | 112.00   | 11    | 090 00 00 | 20.00  | 31.42  | 20.00   | 28.28  | N 62 07 29 W |
| 12   | N 38 00 47 E | 171.48   | 37   | S 72 00 08 W | 95.76    | 12    | 033 39 55 | 173.62 | 102.01 | 52.53   | 100.55 | N 33 57 27 W |
| 13   | N 48 40 06 E | 46.55    | 38   | S 72 00 08 W | 74.69    | 13    | 034 42 13 | 66.01  | 39.98  | 20.63   | 39.38  | N 33 26 18 W |
| 14   | S 17 00 00 E | 130.00   | 39   | S 23 22 13 E | 141.04   | 14    | 032 27 42 | 160.00 | 90.65  | 46.58   | 89.44  | N 32 19 03 W |
| 15   | S 16 05 12 E | 144.59   | 40   | S 57 15 57 W | 15.45    |       |           |        |        |         |        |              |
| 16   | S 17 07 29 E | 11.55    | 41   | N 23 22 15 W | 144.89   |       |           |        |        |         |        |              |
| 17   | S 72 52 31 W | 17.70    | 42   | N 27 33 27 W | 100.00   |       |           |        |        |         |        |              |
| 18   | N 21 09 26 W | 115.00   | 43   | S 62 26 33 W | 80.00    |       |           |        |        |         |        |              |
| 19   | S 68 18 56 W | 122.17   | 44   | N 27 33 27 W | 150.00   |       |           |        |        |         |        |              |
| 20   | S 51 14 12 W | 105.93   | 45   | N 76 37 21 E | 45.05    |       |           |        |        |         |        |              |
| 21   | S 40 34 09 E | 120.00   | 46   | N 72 56 34 E | 169.50   |       |           |        |        |         |        |              |
| 22   | S 43 50 57 W | 20.81    | 47   | S 15 34 49 E | 149.85   |       |           |        |        |         |        |              |
| 23   | S 82 29 28 W | 109.35   | 48   | S 72 52 31 W | 125.00   |       |           |        |        |         |        |              |
| 24   | S 07 30 32 E | 55.81    | 49   | N 17 07 29 W | 11.55    |       |           |        |        |         |        |              |
| 25   | S 69 40 24 W | 83.61    | 50   | N 16 05 12 W | 170.00   |       |           |        |        |         |        |              |

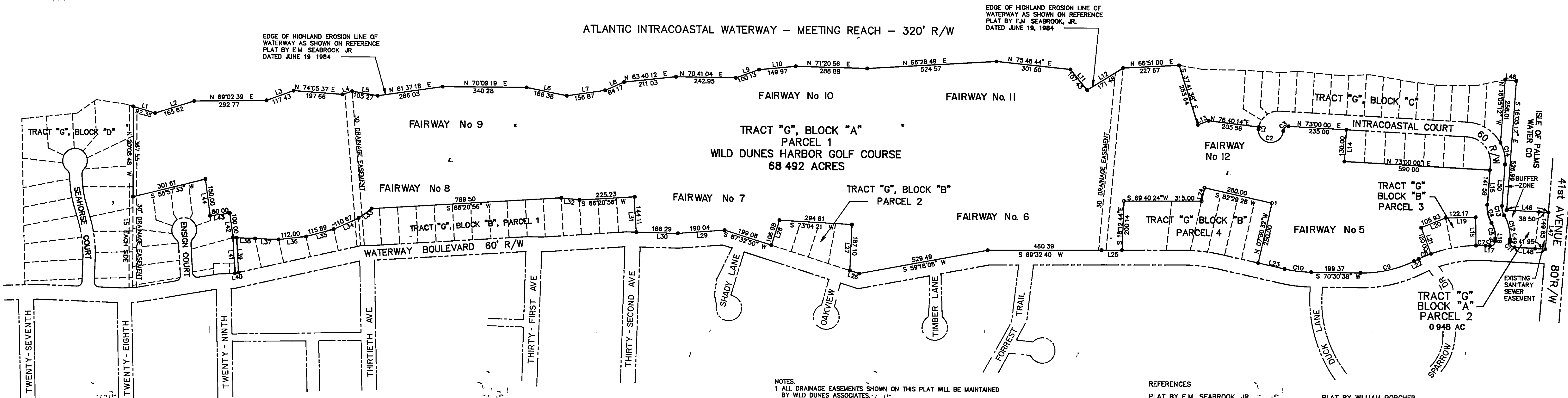
BKD 196PG118

LEGEND  
— IRON PIPE OLD (FOUND)  
— IRON PIPE NEW (SET)

EDGE OF HIGHLAND EROSION LINE OF  
WATERWAY AS SHOWN ON REFERENCE  
PLAT BY E.M. SEABROOK, JR.  
DATED JUNE 19, 1984

ATLANTIC INTRACOASTAL WATERWAY - MEETING REACH - 320' R/W

EDGE OF HIGHLAND EROSION LINE OF  
WATERWAY AS SHOWN ON REFERENCE  
PLAT BY E.M. SEABROOK, JR.  
DATED JUNE 19, 1984



- NOTES
- 1 ALL DRAINAGE EASEMENTS SHOWN ON THIS PLAT WILL BE MAINTAINED BY WILD DUNES ASSOCIATES, INC.
  - 2 ZONING FOR THIS PLAT IS SR 1
  - 3 TAX MAP NUMBER 571-00-00

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE NOT WARRANTED TO BE EXACTLY AS SHOWN NOR ARE ALL UTILITIES WARRANTED TO BE SHOWN

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DATED JUNE 19, 1984 AND RECORDED  
IN PLAT BOOK BB PAGE 20 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED APRIL 22, 1986 AND RECORDED  
IN PLAT BOOK BJ PAGE 28 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

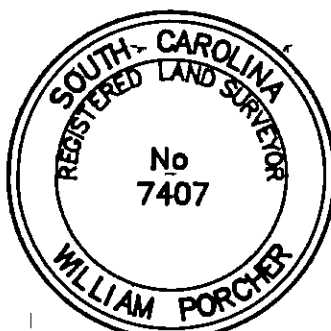
PLAT BY WILLIAM PORCHER  
DATED APRIL 22, 1986 AND RECORDED  
IN PLAT BOOK BJ PAGE 31 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK BY PAGE 158 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED FEBRUARY 5, 1990 AND RECORDED  
IN PLAT BOOK BY PAGE 159 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

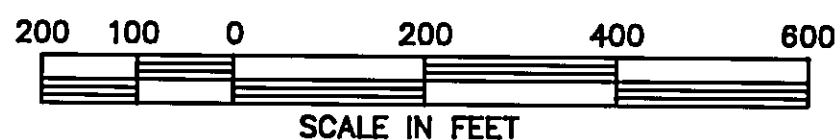
PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK BY PAGE 160 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE

PLAT BY WILLIAM PORCHER  
DATED JANUARY 8, 1990 AND RECORDED  
IN PLAT BOOK BY PAGE 161 IN THE  
CHARLESTON COUNTY R.M.C. OFFICE



I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon that this plat shows the true dimensions of the property, that all necessary markers have been installed, that the precision of the field survey is 1/10,000 and the area was determined by the coordinate method of area calculation

*William Porcher*  
WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407



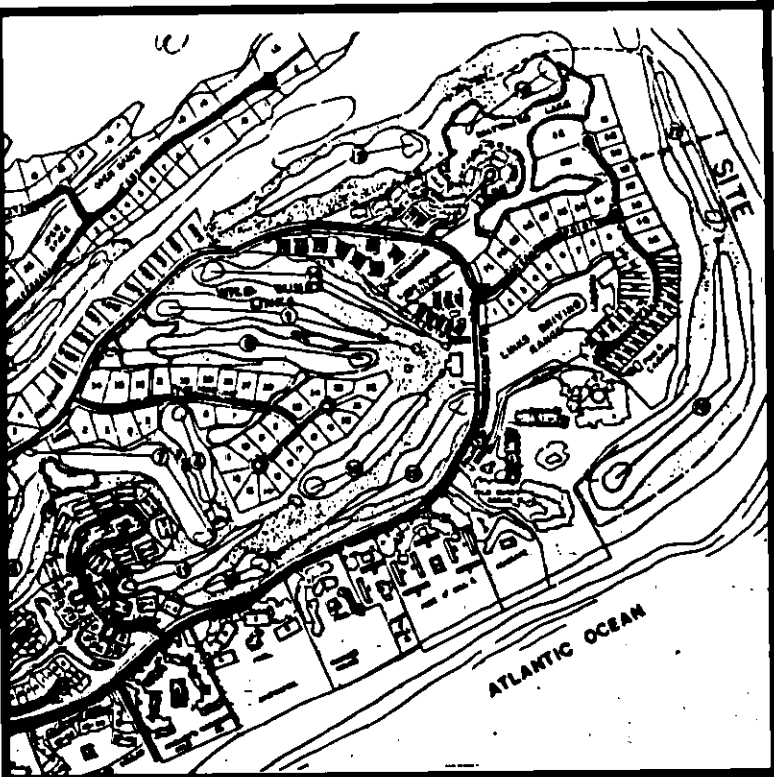
ENGINEERING, SURVEYING, & PLANNING, INC  
16 CHARLOTTE ST CHARLESTON, SOUTH CAROLINA

ACAD- APNKGOLF.DWG ROTATE -20.0000

PLAT SHOWING  
TRACT "G", BLOCK "A", PARCEL 1 &  
TRACT "G", BLOCK "A", PARCEL 2  
A PORTION OF ISLE OF PALMS  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
SCALE 1" = 200  
JUNE 26 1990

DWG NO 842-GA





LOCATION MAP  
N.T.S.

# ACREAGE FINAL

Approved by City Council

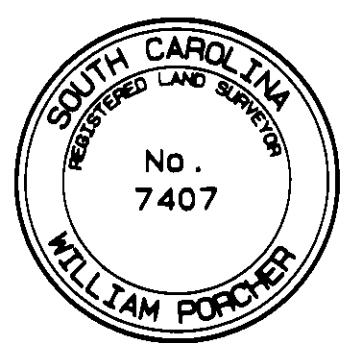
of the City of Isle of Palms

This day of

Clerk

| REFERENCE PLATS RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE | PLAT BY         | DATE               | BOOK         | PAGE |
|---|-----------------|--------------------|--------------|------|
| WILLIAM PORCHER   | WILLIAM PORCHER | MAY 28, 1980       | AG           | 43   |
| WILLIAM PORCHER   | WILLIAM PORCHER | JUNE 29, 1980      | AG           | 81   |
| WILLIAM PORCHER   | WILLIAM PORCHER | AUGUST 26, 1980    | AR           | 117  |
| WILLIAM PORCHER   | WILLIAM PORCHER | AUGUST 26, 1980    | AR           | 118  |
| WILLIAM PORCHER   | WILLIAM PORCHER | SEPTEMBER 22, 1980 | AR           | 27   |
| WILLIAM PORCHER   | WILLIAM PORCHER | MAY 3, 1989        | BW           | 98   |
| WILLIAM PORCHER   | WILLIAM PORCHER | DECEMBER 18, 1980  | AS           | 20   |
| WILLIAM PORCHER   | WILLIAM PORCHER | DECEMBER 22, 1980  | AS           | 1    |
| WILLIAM PORCHER   | WILLIAM PORCHER | MARCH 17, 1981     | AV           | 50   |
| WILLIAM PORCHER   | WILLIAM PORCHER | MARCH 23, 1981     | AS           | 132  |
| WILLIAM PORCHER   | WILLIAM PORCHER | APRIL 28, 1981     | AU           | 21   |
| WILLIAM PORCHER   | WILLIAM PORCHER | JUNE 22, 1981      | AT           | 93   |
| WILLIAM PORCHER   | WILLIAM PORCHER | JUNE 23, 1981      | AV           | 48   |
| WILLIAM PORCHER   | WILLIAM PORCHER | JANUARY 19, 1982   | AU           | 147  |
| WILLIAM PORCHER   | WILLIAM PORCHER | JUNE 30, 1982      | AV           | 149  |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 5, 1982    | AW           | 45   |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 21, 1983   | AY           | 164  |
| WILLIAM PORCHER   | WILLIAM PORCHER | JULY 11, 1988      | BS           | 178  |
| WILLIAM PORCHER   | WILLIAM PORCHER | FEBRUARY 24, 1984  | NOT RECORDED |      |
| WILLIAM PORCHER   | WILLIAM PORCHER | JULY 16, 1984      | BB           | 18   |
| WILLIAM PORCHER   | WILLIAM PORCHER | SEPTEMBER 25, 1984 | BC           | 100  |
| WILLIAM PORCHER   | WILLIAM PORCHER | AUGUST 15, 1988    | BT           | 70   |
| WILLIAM PORCHER   | WILLIAM PORCHER | APRIL 21, 1986     | BJ           | 7    |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 21, 1986   | BL           | 17   |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 21, 1986   | BL           | 19   |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 21, 1986   | BL           | 16   |
| WILLIAM PORCHER   | WILLIAM PORCHER | APRIL 21, 1987     | BO           | 37   |
| WILLIAM PORCHER   | WILLIAM PORCHER | APRIL 22, 1987     | BO           | 39   |
| WILLIAM PORCHER   | WILLIAM PORCHER | FEBRUARY 8, 1988   | BR           | 51   |
| WILLIAM PORCHER   | WILLIAM PORCHER | OCTOBER 16, 1989   | NOT RECORDED |      |

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT:  
A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL  
LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT.  
SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN  
FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE  
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WARRANTED TO BE SHOWN.



Approved  
City of Isle of Palms  
Municipal Administrator  
10/31/90

I, WILLIAM PORCHER, a Professional Land Surveyor of  
the State of South Carolina, hereby certify that I have  
surveyed the property shown hereon, that this plat shows  
the true dimensions of the property, that all necessary  
markers have been installed, that the precision of the  
field survey is 1/10,000 and the area was determined by  
the coordinate method of area calculation.

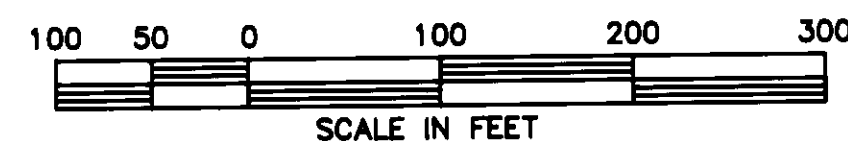
William Porcher  
WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407

The undersigned hereby certifies to NCB National Bank of  
North Carolina and Chicago Title Insurance Corporation, as of  
February 9, 1990, that he is a duly registered land surveyor of  
the State of South Carolina that the attached plat of survey is  
made at least in accordance with the minimum standards established  
by the State of South Carolina for surveys and land surveyors; that  
to best of my knowledge, information and belief, said survey correctly  
shows the location of all buildings, structures and other improvements  
situated on the subject premises; and that, except as shown, there  
are no visible easements or rights of way across said premises or  
any other easements or rights of way, no party walls, no encroachments  
onto adjoining premises, streets, alleys, easements, rights of way,  
or across any setbacks, by any of said buildings, structures or other  
improvements, and no encroachments onto said premises by buildings,  
structures or other improvements situated on adjoining premises.

William Porcher  
S.C. Reg. No. 7407

ACAD:LNKSGF1.DWG GOLFOP.CRD

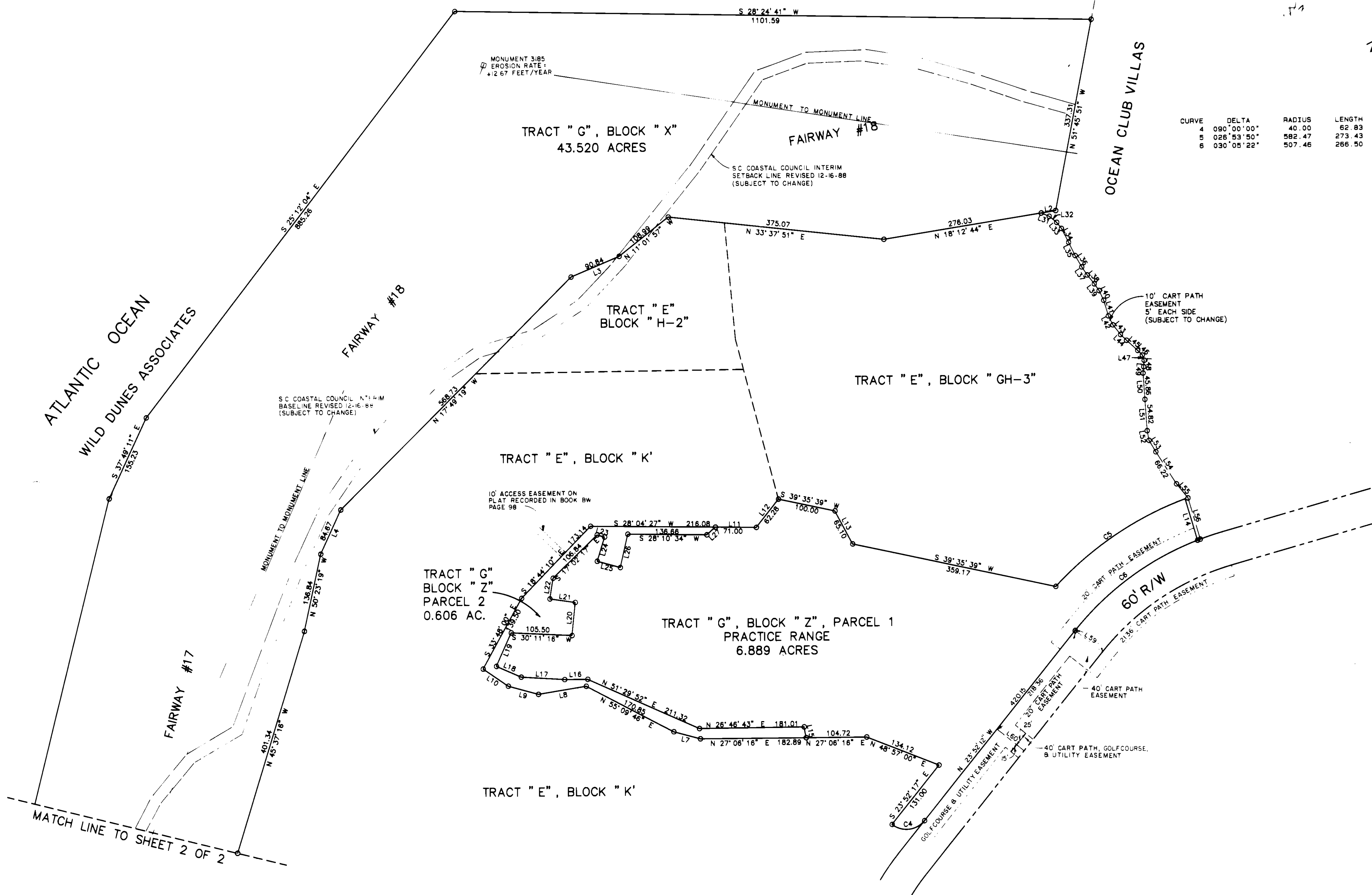
ENGINEERING, SURVEYING, & PLANNING, INC.  
16 CHARLOTTE ST., CHARLESTON, SOUTH CAROLINA



## FLOOD CERTIFICATION

I have examined the Flood Insurance Rate Map for Isle of Palms,  
South Carolina, Community Panel Number 455416 panel 3 of 3 dated September  
18, 1987 and hereby certify that this property is located in a Special  
Flood Hazard Area as determined by the Department of Housing and Urban  
Development.  
William Porcher  
William Porcher  
S.C. Reg. No. 7407

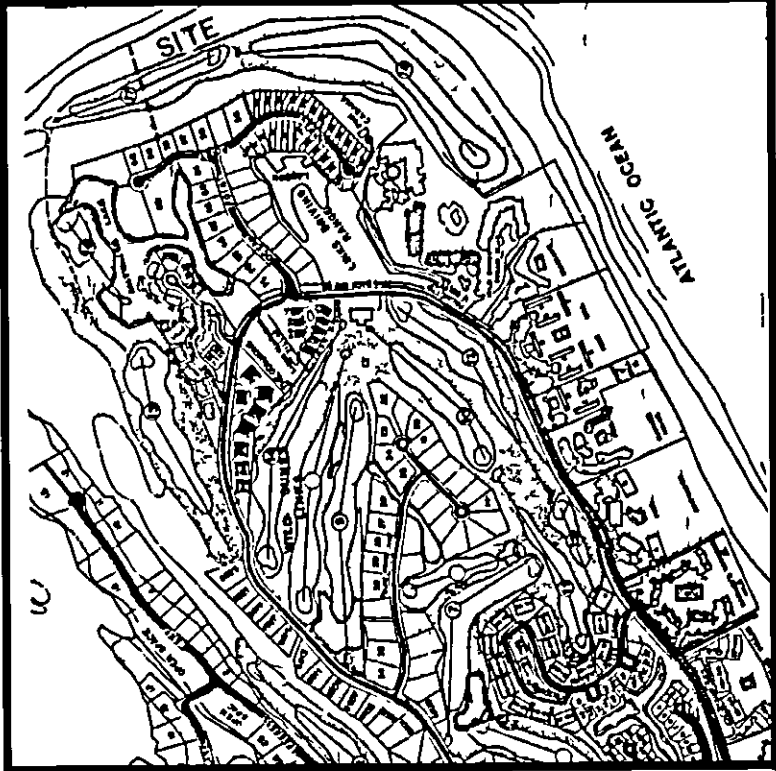
## ATLANTIC OCEAN WILD DUNES ASSOCIATES



| CURVE | DELTA      | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG     |
|-------|------------|--------|--------|---------|--------|---------------|
| 4     | 090°00'00" | 40.00  | 62.83  | 139.28  | 270.93 | S 06°34'22" E |
| 5     | 026°53'50" | 582.47 | 273.43 | 136.40  | 263.45 | S 08°49'40" W |
| 6     | 030°05'22" | 507.46 | 266.50 |         |        |               |

| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| 2    | N 18°12'44" E | 25.49    |
| 3    | N 04°22'55" E | 90.84    |
| 4    | N 38°04'59" W | 84.67    |
| 7    | N 42°30'45" E | 47.49    |
| 8    | N 18°01'27" E | 83.69    |
| 9    | N 42°47'29" E | 54.24    |
| 10   | N 61°56'40" E | 52.57    |
| 11   | S 28°04'27" W | 71.00    |
| 12   | S 24°30'17" E | 62.28    |
| 13   | S 89°46'06" W | 65.10    |
| 14   | N 78°41'24" W | 75.26    |
| 15   | S 72°58'21" E | 19.06    |
| 16   | N 27°01'00" E | 39.82    |
| 17   | N 30°48'34" E | 75.32    |
| 18   | N 51°11'21" E | 46.87    |
| 19   | S 38°26'36" E | 63.53    |
| 20   | S 56°45'55" E | 57.65    |
| 21   | N 35°37'20" E | 44.29    |
| 22   | S 53°26'11" E | 36.42    |
| 23   | S 42°54'00" W | 13.53    |
| 24   | N 45°27'58" W | 44.09    |
| 25   | S 42°50'20" W | 41.67    |
| 26   | S 49°50'52" E | 59.45    |
| 27   | S 14°28'38" E | 20.02    |
| 31   | S 50°14'35" W | 15.02    |
| 32   | S 66°51'31" W | 16.71    |
| 33   | S 79°01'31" W | 19.71    |
| 34   | S 82°21'42" W | 14.33    |
| 35   | N 87°24'33" W | 18.53    |
| 36   | N 78°53'10" W | 28.33    |
| 37   | S 83°55'11" W | 17.51    |
| 38   | S 79°01'31" W | 21.26    |
| 39   | S 82°21'42" W | 14.46    |
| 40   | N 87°24'33" W | 26.11    |
| 41   | N 78°53'10" W | 11.48    |
| 42   | S 83°55'11" W | 9.65     |
| 43   | S 79°01'31" W | 11.13    |
| 44   | S 82°21'42" W | 11.17    |
| 45   | S 70°08'28" W | 45.86    |
| 46   | S 72°30'03" W | 14.88    |
| 47   | N 81°26'25" W | 17.10    |
| 48   | N 59°06'29" W | 23.22    |
| 49   | N 56°20'05" W | 66.22    |
| 50   | N 66°09'33" W | 31.60    |
| 51   | N 66°22'16" W | 74.84    |
| 52   | N 73°07'18" W | 60.00    |
| 53   | S 87°16'36" W | 60.00    |
| 54   | S 85°11'14" W | 60.00    |
| 55   | S 78°50'27" W | 60.00    |
| 56   | N 78°41'24" W | 60.00    |
| 57   | S 66°07'48" W | 60.00    |
| 58   | S 66°07'48" W | 60.00    |

PLAT OF  
A PORTION OF  
WILD DUNES LINKS GOLF COURSE  
TRACT "G", BLOCK "X" &  
TRACT "G", BLOCK "Z", PARCELS 1 & 2  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
SCALE: 1" = 100'  
OCTOBER 27, 1990



BK Y197P6223

ACREAGE FINAL

Approved by City Council

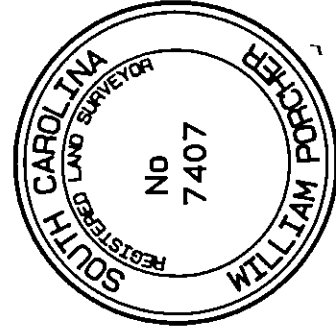
of the City of Isle of Palms

This day of

Clerk

| PLAT BY         | DATE              | BOOK         | PAGE | OFFICE |
|-----------------|-------------------|--------------|------|--------|
| WILLIAM PORCHER | JUNE 29 1980      | AG           | 81   | 183    |
| WILLIAM PORCHER | AUGUST 26 1980    | AR           | 117  | 183    |
| WILLIAM PORCHER | AUGUST 26 1980    | AR           | 118  | 183    |
| WILLIAM PORCHER | SEPTEMBER 22 1980 | AR           | 27   | 183    |
| WILLIAM PORCHER | MAY 1989          | BW           | 96   | 183    |
| WILLIAM PORCHER | DECEMBER 22 1980  | AS           | 4    | 183    |
| WILLIAM PORCHER | MARCH 17 1981     | AV           | 50   | 183    |
| WILLIAM PORCHER | APRIL 29 1981     | AS           | 132  | 183    |
| WILLIAM PORCHER | JUNE 22 1981      | AU           | 21   | 183    |
| WILLIAM PORCHER | JUNE 22 1981      | AT           | 93   | 183    |
| WILLIAM PORCHER | JANUARY 19 1982   | AU           | 147  | 183    |
| WILLIAM PORCHER | JUNE 30 1982      | AV           | 149  | 183    |
| WILLIAM PORCHER | OCTOBER 5 1982    | AY           | 145  | 183    |
| WILLIAM PORCHER | OCTOBER 21 1983   | AY           | 164  | 183    |
| WILLIAM PORCHER | JULY 11 1989      | BS           | 176  | 183    |
| WILLIAM PORCHER | JULY 16 1984      | BR           | 100  | 183    |
| WILLIAM PORCHER | SEPTEMBER 25 1984 | BC           | 100  | 183    |
| WILLIAM PORCHER | AUGUST 15 1988    | BT           | 70   | 183    |
| WILLIAM PORCHER | OCTOBER 21 1986   | BL           | 17   | 183    |
| WILLIAM PORCHER | OCTOBER 21 1986   | BL           | 16   | 183    |
| WILLIAM PORCHER | OCTOBER 21 1987   | BO           | 37   | 183    |
| WILLIAM PORCHER | APRIL 22 1987     | BO           | 39   | 183    |
| WILLIAM PORCHER | FEBRUARY 8 1988   | BR           | 51   | 183    |
| WILLIAM PORCHER | OCTOBER 16 1989   | NOT RECORDED |      | 183    |

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT  
A REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL EXISTING DRAINAGE AND UTILITY EASEMENTS WHICH ARE OBVIOUS AND APPARENT  
SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN  
FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE  
NOT WARRANTED TO BE EXACTLY AS SHOWN NOR ARE ALL UTILITIES  
WARRANTED TO BE SHOWN



I, WILLIAM PORCHER a Professional Land Surveyor of the State of South Carolina hereby certify that I have surveyed the property shown on this plat and that the true dimensions of the property and the location of the markers have been installed and the precision of the field survey is 1/10,000 and the area was determined by the coordinate method of computation

William Porcher  
WILLIAM PORCHER  
S.C. Reg. No. 7407

The undersigned hereby certifies to NCBP National Bank of North Carolina and Chicago Title Insurance Corporation as of February 9, 1990 that he is a duly registered land surveyor of the State of South Carolina that the attached plat of survey is, made at least in accordance with the minimum standards established by the State of South Carolina for surveys and land surveyors' charts, to best of my knowledge and belief, correct and true, and that I am situated on the subject premises and that, except as shown there are no visible easements or rights of way across said premises or any other easements or rights of way, no party walls, no encroachments onto adjoining premises, streets, alleys, easements, rights of way, or across any setbacks, by any or said buildings, structures, or other structures on other improvements situated on adjoining premises

William Porcher  
WILLIAM PORCHER  
S.C. Reg. No. 7407

WILLIAM PORCHER

ACAD LINKSULFI DWG

GOLFOP CRD

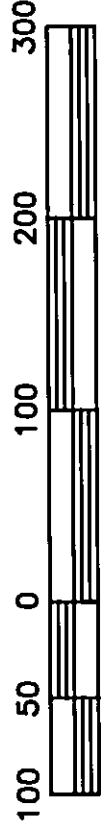
ENGINEERING, SURVEYING, & PLANNING, INC

16 CHARLOTTE ST CHARLESTON, SOUTH CAROLINA

FLOOD CERTIFICATION

I have examined the Flood Insurance Rate Map for Isle of Palms, South Carolina, Community Panel Number 455416 Panel 3 of 3 dated September 18, 1997 and hereby certify that this property is located in a Special Flood Hazard Area as determined by the Department of Housing and Urban Development

William Porcher  
WILLIAM PORCHER  
S.C. Reg. No. 7407



SCALE IN FEET

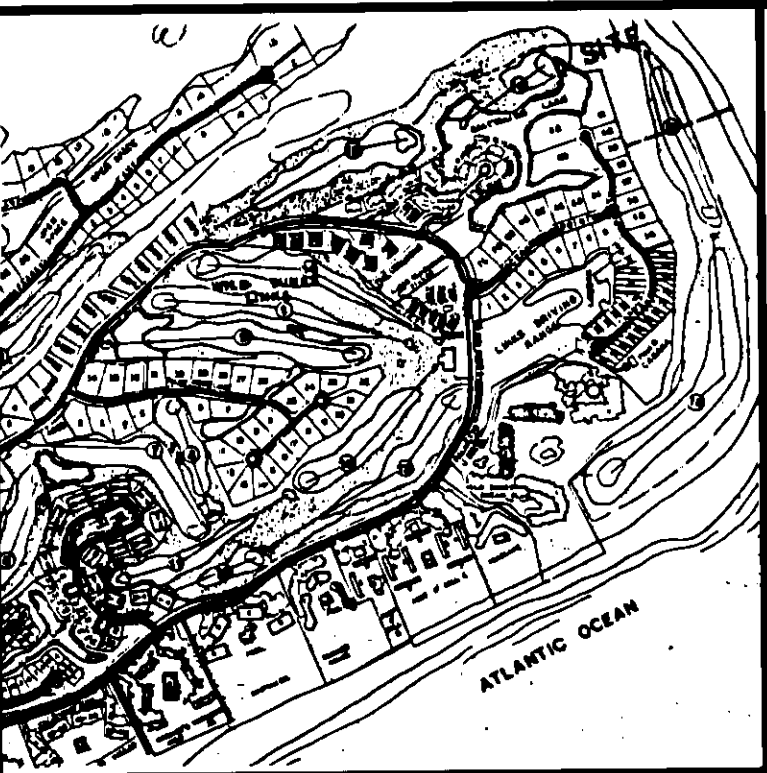
Charleston South Carolina  
Office of Register Mesne Conveyance  
Plat recorded this day of November 19 90 at 4:40 p.m. in Plat Book 68, Page 4, and tracing cloth copy file in File 5. Original plat (signed and sealed) delivered to the City of Isle of Palms.  
Robert M. King  
Register Mesne Conveyance

| CURVE | DELTA      | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG    |
|-------|------------|--------|--------|---------|--------|--------------|
| 5     | 0 50 53 50 | 582 47 | 273 43 | 139 28  | 270 93 | N 24 07 43 E |
| 6     | 0 30 05 22 | 507 46 | 266 50 | 136 40  | 263 45 | N 08 49 40 W |

| LINE | BEARING      | DISTANCE |
|------|--------------|----------|
| 2    | N 18 12 44 E | 25 49    |
| 3    | N 04 22 59 E | 90 84    |
| 4    | N 39 04 59 W | 94 67    |
| 5    | N 46 01 47 E | 63 69    |
| 6    | N 46 01 47 E | 63 69    |
| 7    | N 42 47 29 E | 54 24    |
| 8    | N 42 47 29 E | 54 24    |
| 9    | N 61 56 40 E | 52 57    |
| 10   | N 28 04 27 W | 71 00    |
| 11   | S 24 30 17 E | 62 28    |
| 12   | S 24 30 17 E | 62 28    |
| 13   | S 24 30 17 E | 62 28    |
| 14   | S 24 30 17 E | 62 28    |
| 15   | S 24 30 17 E | 62 28    |
| 16   | S 24 30 17 E | 62 28    |
| 17   | N 30 48 34 E | 75 32    |
| 18   | N 30 48 34 E | 75 32    |
| 19   | N 30 48 34 E | 75 32    |
| 20   | N 30 48 34 E | 75 32    |
| 21   | N 30 48 34 E | 75 32    |
| 22   | N 30 48 34 E | 75 32    |
| 23   | N 30 48 34 E | 75 32    |
| 24   | N 30 48 34 E | 75 32    |
| 25   | N 30 48 34 E | 75 32    |
| 26   | N 30 48 34 E | 75 32    |
| 27   | N 30 48 34 E | 75 32    |
| 28   | N 30 48 34 E | 75 32    |
| 29   | N 30 48 34 E | 75 32    |
| 30   | N 30 48 34 E | 75 32    |
| 31   | N 30 48 34 E | 75 32    |
| 32   | N 30 48 34 E | 75 32    |
| 33   | N 30 48 34 E | 75 32    |
| 34   | N 30 48 34 E | 75 32    |
| 35   | N 30 48 34 E | 75 32    |
| 36   | N 30 48 34 E | 75 32    |
| 37   | N 30 48 34 E | 75 32    |
| 38   | N 30 48 34 E | 75 32    |
| 39   | N 30 48 34 E | 75 32    |
| 40   | N 30 48 34 E | 75 32    |
| 41   | N 30 48 34 E | 75 32    |
| 42   | N 30 48 34 E | 75 32    |
| 43   | N 30 48 34 E | 75 32    |
| 44   | N 30 48 34 E | 75 32    |
| 45   | N 30 48 34 E | 75 32    |
| 46   | N 30 48 34 E | 75 32    |
| 47   | N 30 48 34 E | 75 32    |
| 48   | N 30 48 34 E | 75 32    |
| 49   | N 30 48 34 E | 75 32    |
| 50   | N 30 48 34 E | 75 32    |
| 51   | N 30 48 34 E | 75 32    |
| 52   | N 30 48 34 E | 75 32    |
| 53   | N 30 48 34 E | 75 32    |
| 54   | N 30 48 34 E | 75 32    |
| 55   | N 30 48 34 E | 75 32    |
| 56   | N 30 48 34 E | 75 32    |
| 57   | N 30 48 34 E | 75 32    |
| 58   | N 30 48 34 E | 75 32    |
| 59   | N 30 48 34 E | 75 32    |
| 60   | N 30 48 34 E | 75 32    |

PLAT OF  
A PORTION OF  
WILD DUNES LINKS GOLF COURSE  
TRACT "G", BLOCK "X" &  
TRACT "G", BLOCK "Z", PARCELS 1 & 2  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
OCTOBER 27 1990  
SCALE 1" = 100



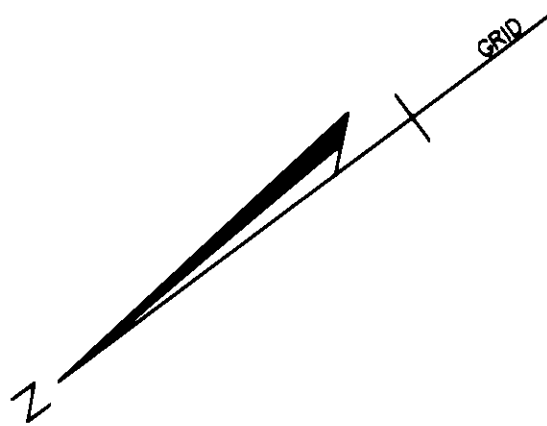


NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT:  
A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL  
LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT.  
SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN  
FROM UTILITY RECORDS. UNDERGROUND UTILITIES AS SHOWN HEREON ARE  
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WARRANTED TO BE SHOWN.

BK Y197P22

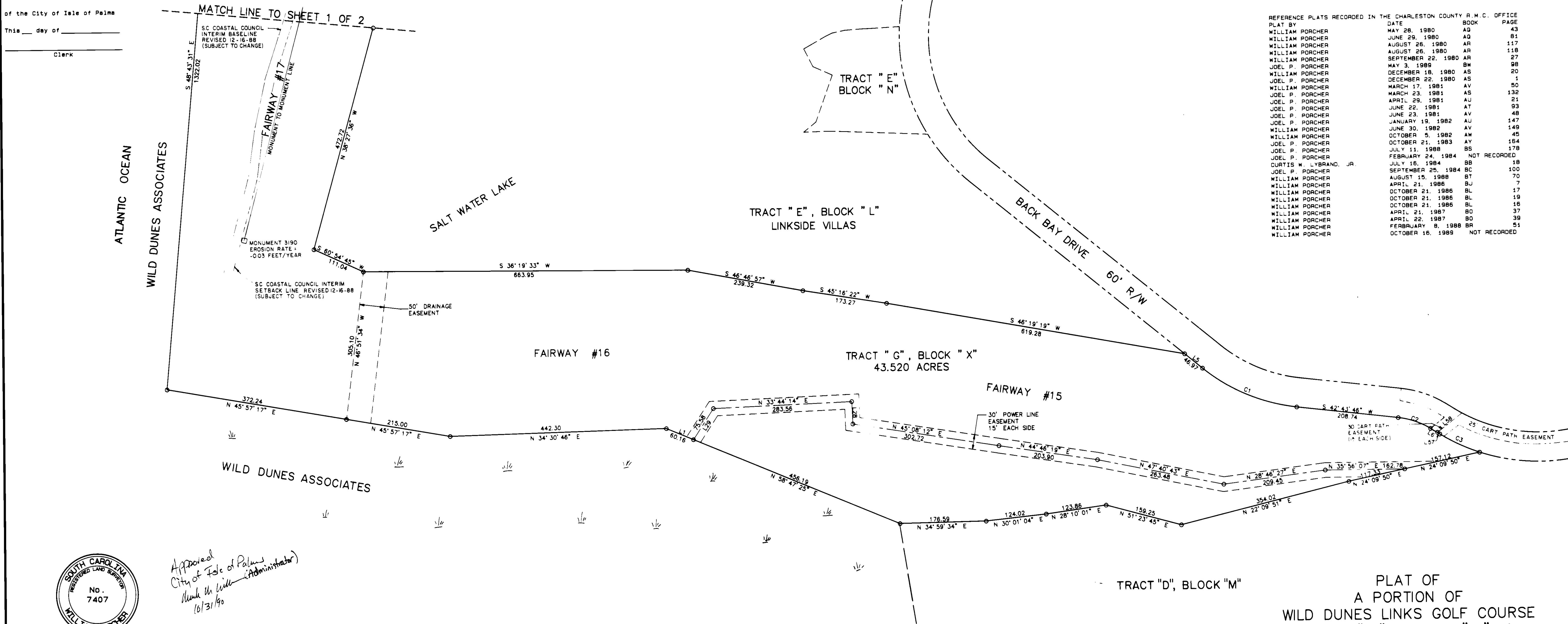
| LINE | BEARING         | DISTANCE | CURVE | DELTA        | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG       |
|------|-----------------|----------|-------|--------------|--------|--------|---------|--------|-----------------|
| 1    | N 58° 47' 25" E | 60.16    | 1     | 032° 49' 37" | 369.46 | 211.69 | 108.84  | 208.81 | S 59° 08' 33" W |
| 5    | S 75° 33' 20" W | 46.97    | 2     | 025° 07' 17" | 159.70 | 70.02  | 35.58   | 89.46  | S 55° 17' 28" W |
| 6    | S 67° 51' 09" W | 16.01    | 3     | 013° 16' 23" | 388.10 | 89.91  | 45.16   | 89.71  | S 51° 12' 57" W |
| 28   | S 55° 58' 54" E | 45.83    |       |              |        |        |         |        |                 |
| 29   | N 20° 46' 47" W | 75.58    |       |              |        |        |         |        |                 |
| 57   | S 67° 51' 09" W | 6.36     |       |              |        |        |         |        |                 |
| 58   | S 01° 41' 01" E | 64.47    |       |              |        |        |         |        |                 |

11/06/2011  
4/11/11  
5  
No. 39  
to McNamee Law Firm P.A. Sheet 2 of 2



LOCATION MAP  
N.T.S.

ACREAGE FINAL  
Approved by City Council  
of the City of Isle of Palms  
This \_\_\_ day of \_\_\_\_\_  
Clerk



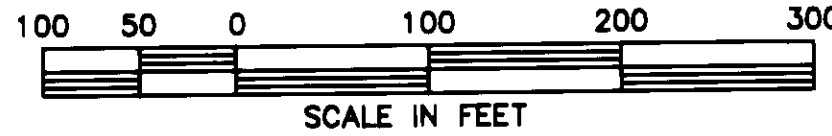
| PLAT BY                | DATE               | BOOK         | PAGE |
|------------------------|--------------------|--------------|------|
| WILLIAM PORCHER        | MAY 28, 1980       | AQ           | 43   |
| WILLIAM PORCHER        | JUNE 29, 1980      | AQ           | 81   |
| WILLIAM PORCHER        | AUGUST 26, 1980    | AR           | 117  |
| WILLIAM PORCHER        | AUGUST 26, 1980    | AR           | 118  |
| WILLIAM PORCHER        | SEPTEMBER 22, 1980 | AR           | 27   |
| JOEL P. PORCHER        | MAY 3, 1989        | BW           | 98   |
| WILLIAM PORCHER        | DECEMBER 18, 1980  | AS           | 20   |
| JOEL P. PORCHER        | DECEMBER 22, 1980  | AS           | 1    |
| WILLIAM PORCHER        | MARCH 17, 1981     | AV           | 50   |
| JOEL P. PORCHER        | MARCH 23, 1981     | AS           | 132  |
| JOEL P. PORCHER        | APRIL 29, 1981     | AU           | 21   |
| JOEL P. PORCHER        | JUNE 22, 1981      | AT           | 93   |
| JOEL P. PORCHER        | JUNE 23, 1981      | AV           | 48   |
| WILLIAM PORCHER        | JANUARY 19, 1982   | AU           | 147  |
| WILLIAM PORCHER        | JUNE 30, 1982      | AV           | 149  |
| WILLIAM PORCHER        | OCTOBER 5, 1982    | AW           | 45   |
| JOEL P. PORCHER        | OCTOBER 21, 1983   | AY           | 164  |
| JOEL P. PORCHER        | JULY 11, 1988      | BS           | 178  |
| JOEL P. PORCHER        | FEBRUARY 24, 1984  | NOT RECORDED |      |
| CURTIS W. LYBRAND, JR. | JULY 16, 1984      | BB           | 18   |
| JOEL P. PORCHER        | SEPTEMBER 25, 1984 | BC           | 100  |
| WILLIAM PORCHER        | AUGUST 15, 1988    | BT           | 70   |
| WILLIAM PORCHER        | APRIL 21, 1986     | BU           | 7    |
| WILLIAM PORCHER        | OCTOBER 21, 1986   | BL           | 17   |
| WILLIAM PORCHER        | OCTOBER 21, 1986   | BL           | 19   |
| WILLIAM PORCHER        | OCTOBER 21, 1986   | BL           | 16   |
| WILLIAM PORCHER        | APRIL 21, 1987     | BO           | 37   |
| WILLIAM PORCHER        | APRIL 22, 1987     | BO           | 39   |
| WILLIAM PORCHER        | FEBRUARY 8, 1988   | BR           | 51   |
| WILLIAM PORCHER        | OCTOBER 16, 1989   | NOT RECORDED |      |



Approved  
City of Isle of Palms  
Heckle the will (Administrator)  
10/31/90

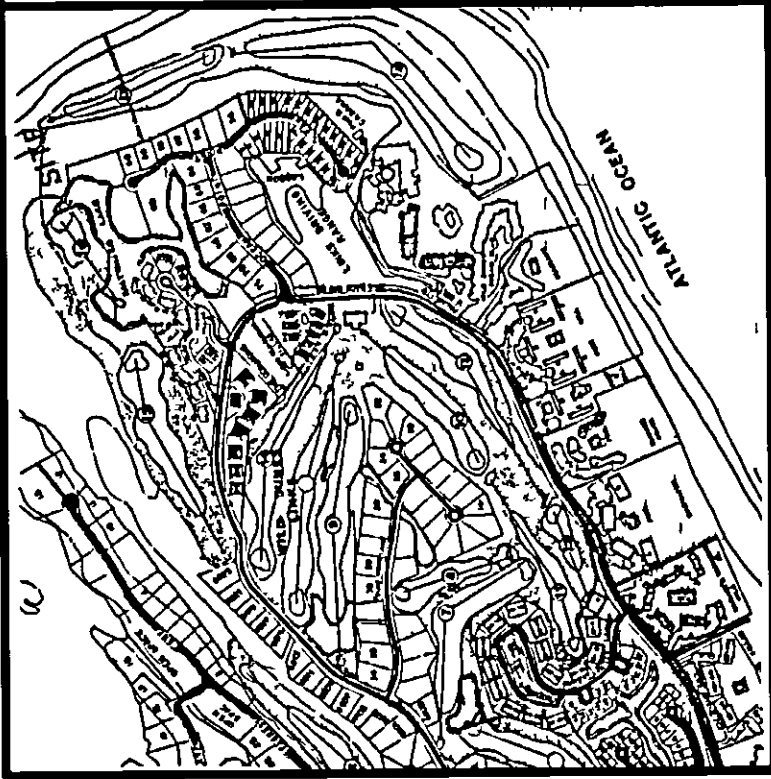
I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon, that this plat shows the true dimensions of the property, that all necessary markers have been installed, that the precision of the field survey is 1/10,000 and the area was determined by the coordinate method of area calculation.

William Porcher  
WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407



ENGINEERING, SURVEYING, & PLANNING, INC.  
16 CHARLOTTE ST., CHARLESTON, SOUTH CAROLINA

PLAT OF  
A PORTION OF  
WILD DUNES LINKS GOLF COURSE  
TRACT "G", BLOCK "X" &  
TRACT "G", BLOCK "Z", PARCELS 1 & 2  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
SCALE: 1" = 100'  
OCTOBER 27, 1990



LOCATION MAP  
NTS

ACREAGE FINAL

Approved by City Council

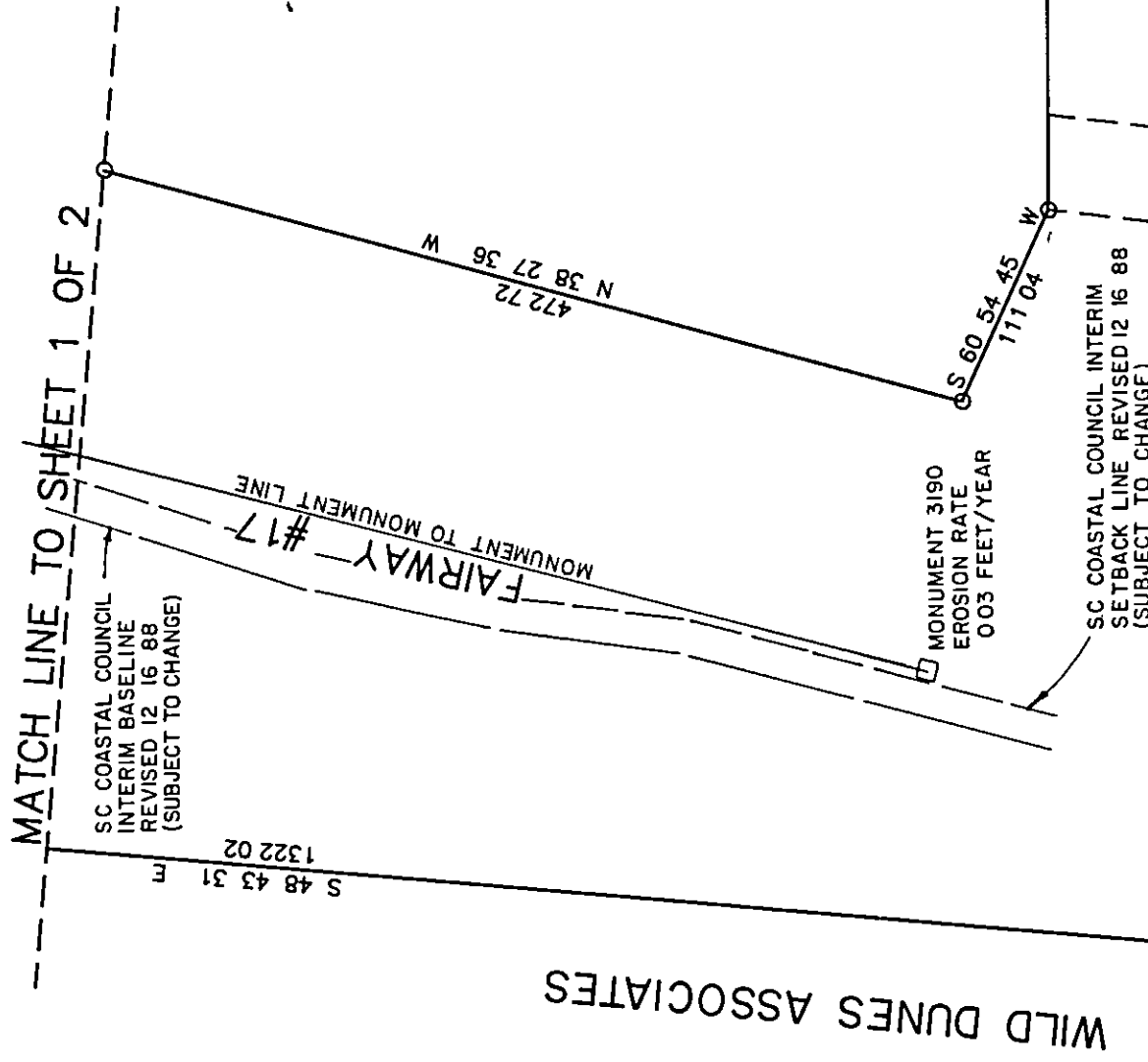
of the City of Isle of Palms

This \_\_\_ day of \_\_\_\_\_

Clerk

NOTE REGARDING DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT  
A REASONABLE EFFORT HAS BEEN MADE TO DETERMINE THE HORIZONTAL  
LOCATION OF UNDERGROUND UTILITIES WHICH ARE OBVIOUS AND APPARENT  
SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN  
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WARRANTED TO BE SHOWN.

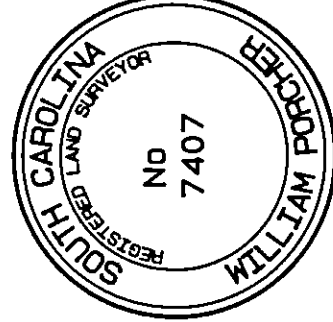
BK Y 197 PC 2



| LINE | BEARING      | DISTANCE | CURVE | DELTA     | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG    |
|------|--------------|----------|-------|-----------|--------|--------|---------|--------|--------------|
| 1    | N 56 47 25 E | 60.16    | 1     | 032 49 37 | 389.48 | 211.69 | 108.84  | 208.91 | S 59 09 33 W |
| 2    | S 75 33 20 W | 46.97    | 2     | 025 07 17 | 359.70 | 211.69 | 108.84  | 88.71  | S 59 09 33 W |
| 3    | S 65 58 54 E | 45.63    | 3     | 013 10 23 | 388.10 | 69.91  | 45.16   | 88.71  | S 61 12 57 W |
| 4    | S 65 58 54 E | 45.63    |       |           |        |        |         |        |              |
| 5    | N 20 46 47 W | 75.58    |       |           |        |        |         |        |              |
| 6    | S 67 51 09 W | 6.38     |       |           |        |        |         |        |              |
| 7    | S 01 41 01 E | 64.47    |       |           |        |        |         |        |              |

Charleston, South Carolina  
Office of Register Meisner Conveyance  
Plat recorded this 1 day of November 19 90  
441 Lock in Plat Book 23 Page 5, any tracing cloth  
copy filed in File 5 Drawer 1, following the recording  
No. 39 Original plat delivered to  
to McNamee Law Firm, P.A. Sheet 2 of 2  
Robert M. King  
Register Meisner Conveyance

| PLAT            | DATE              | IN THE CHARLESTON COUNTY, S. C. OFFICE | BOOK | PAGE |
|-----------------|-------------------|--|------|------|
| WILLIAM PORCHER | MAY 28 1980       | AG                                     | 43   |      |
| WILLIAM PORCHER | JUNE 29 1980      | AG                                     | 81   |      |
| WILLIAM PORCHER | AUGUST 26 1980    | AR                                     | 117  |      |
| WILLIAM PORCHER | AUGUST 26 1980    | AR                                     | 119  |      |
| WILLIAM PORCHER | SEPTEMBER 22 1980 | AR                                     | 119  |      |
| WILLIAM PORCHER | SEPTEMBER 22 1980 | AR                                     | 119  |      |
| WILLIAM PORCHER | DECEMBER 22 1980  | AS                                     | 20   |      |
| WILLIAM PORCHER | DECEMBER 22 1980  | AS                                     | 20   |      |
| WILLIAM PORCHER | MARCH 17 1981     | AS                                     | 50   |      |
| WILLIAM PORCHER | MARCH 23 1981     | AS                                     | 132  |      |
| WILLIAM PORCHER | APRIL 29 1981     | AV                                     | 51   |      |
| WILLIAM PORCHER | JUNE 23 1981      | AV                                     | 48   |      |
| WILLIAM PORCHER | JUNE 23 1981      | AV                                     | 48   |      |
| WILLIAM PORCHER | JANUARY 19 1982   | AU                                     | 147  |      |
| WILLIAM PORCHER | JUNE 30 1982      | AV                                     | 149  |      |
| WILLIAM PORCHER | OCTOBER 5 1982    | AV                                     | 45   |      |
| WILLIAM PORCHER | OCTOBER 21 1983   | AS                                     | 176  |      |
| WILLIAM PORCHER | OCTOBER 21 1983   | AS                                     | 176  |      |
| WILLIAM PORCHER | FEBRUARY 24 1984  | BS                                     | 176  |      |
| WILLIAM PORCHER | JULY 16 1984      | BB                                     | 18   |      |
| WILLIAM PORCHER | SEPTEMBER 25 1984 | BC                                     | 100  |      |
| WILLIAM PORCHER | AUGUST 15 1988    | BT                                     | 70   |      |
| WILLIAM PORCHER | APRIL 27 1988     | BU                                     | 17   |      |
| WILLIAM PORCHER | OCTOBER 21 1986   | BL                                     | 19   |      |
| WILLIAM PORCHER | OCTOBER 21 1986   | BL                                     | 19   |      |
| WILLIAM PORCHER | OCTOBER 21 1986   | BL                                     | 19   |      |
| WILLIAM PORCHER | APRIL 21 1987     | BO                                     | 37   |      |
| WILLIAM PORCHER | APRIL 22 1987     | BO                                     | 39   |      |
| WILLIAM PORCHER | FEBRUARY 6 1988   | BR                                     | 151  |      |
| WILLIAM PORCHER | OCTOBER 16 1989   | NOT RECORDED                           |      |      |



I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon that this plat shows the true dimensions of the property that all necessary field notes have been preserved and the area was determined by the coordinate method of area calculation.  
William Porcher  
WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407

Approved  
City of Isle of Palms (Administration)  
Municipal Clerk  
10/31/90









LOCATION MAP  
NTS

ACREAGE FINAL

Approved by City Council  
of the City of Isle of Palms

This \_\_\_ day of \_\_\_\_\_

Clerk

Shade ton South Carolina  
BK Y197P6225  
Office of Register Miste Conveyance  
Plat recorded this 19th day of November 1990  
44 Lock in Plat Book 28 Page 5 and tracing cloth  
copy filed in File 5 Drawer 5 (Folios)  
No. 53 Original Plat (audited print) delivered  
to McMan Law Firm

Robert N King  
Register Miste Conveyance

| PLAT BY         | REFERENCE PLATS RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE |
|-----------------|---|
| WILLIAM PORCHER | MAY 28 1980 AG 43   |
| WILLIAM PORCHER | JUNE 29 1980 AG 81  |
| WILLIAM PORCHER | AUGUST 26 1980 AR 117   |
| WILLIAM PORCHER | SEPTEMBER 22 1980 AR 119  |
| WILLIAM PORCHER | OCTOBER 18 1980 AR 121  |
| WILLIAM PORCHER | DECEMBER 22 1980 AS 20  |
| WILLIAM PORCHER | MARCH 17 1981 AV 50   |
| WILLIAM PORCHER | APRIL 23 1981 AS 132  |
| WILLIAM PORCHER | MAY 23 1981 AT 53   |
| WILLIAM PORCHER | JUNE 23 1981 AV 48  |
| WILLIAM PORCHER | JANUARY 19 1982 AU 147  |
| WILLIAM PORCHER | JUNE 30 1982 AV 149   |
| WILLIAM PORCHER | OCTOBER 5 1982 AW 45  |
| WILLIAM PORCHER | OCTOBER 21 1982 BS 178  |
| WILLIAM PORCHER | FEBRUARY 24 1984 NOT RECORDED                                   |
| WILLIAM PORCHER | JULY 16 1984 BB 18  |
| WILLIAM PORCHER | SEPTEMBER 25 1984 BC 100  |
| WILLIAM PORCHER | AUGUST 15 1988 BT 77  |
| WILLIAM PORCHER | APRIL 21 1988 BU 17   |
| WILLIAM PORCHER | OCTOBER 21 1986 BL 19   |
| WILLIAM PORCHER | OCTOBER 21 1986 BL 16   |
| WILLIAM PORCHER | APRIL 21 1987 BO 37   |
| WILLIAM PORCHER | APRIL 22 1987 BO 39   |
| WILLIAM PORCHER | FEBRUARY 6 1988 BT 51   |
| WILLIAM PORCHER | SEPTEMBER 16 1989 NOT RECORDED                                  |
| WILLIAM PORCHER | SEPTEMBER 2 1990 BT 46  |

| CURVE | DELTA      | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BRG    |
|-------|------------|--------|--------|---------|--------|--------------|
| 1     | 088 29 35  | 20 00  | 30 89  | 19 48   | 27 91  | S 67 45 37 E |
| 2     | 0 18 42 04 | 215 75 | 70 42  | 35 53   | 70 41  | S 26 33 51 E |
| 3     | 037 05 00  | 48 51  | 372 02 | 206 65  | 360 84 | S 47 15 39 W |
| 4     | 035 33 03  | 389 93 | 44 39  | 22 57   | 44 03  | N 29 25 02 W |
| 5     | 016 42 04  | 165 75 | 54 10  | 27 29   | 53 86  | N 32 51 51 W |
| 6     | 014 27 22  | 50 00  | 12 61  | 6 34    | 12 58  | N 5 11 35 W  |
| 7     | 091 30 25  | 20 00  | 31 94  | 20 53   | 28 65  | N 26 54 47 E |
| 8     | 004 09 37  | 355 96 | 25 03  | 10 85   | 50 00  | N 10 53 07 W |
| 9     | 007 45 45  | 369 34 | 50 04  | 25 06   | 50 00  | S 21 53 28 W |

| CURVE | DELTA     | RADIUS  | LENGTH | TANGENT | CHORD  | CHORD BRG    |
|-------|-----------|---------|--------|---------|--------|--------------|
| 1     | 058 30 04 | 389 34  | 407 74 | 223 65  | 390 25 | N 47 15 39 E |
| 2     | 037 41 58 | 381 97  | 118 00 | 59 47   | 117 53 | N 26 51 40 E |
| 3     | 016 66 34 | 113 17  | 113 17 | 57 00   | 117 53 | N 44 11 56 E |
| 4     | 030 00 29 | 318 31  | 168 71 | 85 31   | 164 51 | N 72 46 38 E |
| 5     | 017 50 25 | 550 87  | 182 38 | 84 20   | 182 39 | N 64 02 38 E |
| 6     | 008 07 25 | 1432 38 | 203 09 | 101 74  | 202 92 | N 59 10 11 E |
| 7     | 002 05 06 | 653 13  | 23 77  | 11 89   | 23 77  | N 54 03 54 E |
| 8     | 009 46 26 | 55 84   | 111 41 | 55 84   | 111 28 | N 48 08 08 E |
| 9     | 004 48 02 | 1432 39 | 190 01 | 80 04   | 119 80 | N 40 56 00 E |
| 10    | 009 30 00 | 122 54  | 181 52 | 46 15   | 191 82 | S 55 59 27 E |
| 11    | 014 24 27 | 411 97  | 103 23 | 51 89   | 102 86 | N 25 11 24 E |
| 12    | 020 19 06 | 411 97  | 146 09 | 73 82   | 145 33 | N 42 31 40 E |

TRACT "D", BLOCK "R"

TRACT "D", BLOCK "P"

TRACT "G", BLOCK "W"  
PARCEL 1  
6.710 ACRES

TRACT "G", BLOCK "W"  
PARCEL 2  
3,984 SF

TRACT "D", BLOCK "L"

TRACT "D", BLOCK "M"

TRACT "D", BLOCK "N"

TRACT "D", BLOCK "O"

TRACT "D", BLOCK "P"

TRACT "D", BLOCK "Q"

TRACT "D", BLOCK "R"

TRACT "D", BLOCK "S"

TRACT "D", BLOCK "T"

TRACT "D", BLOCK "U"

TRACT "D", BLOCK "V"

TRACT "D", BLOCK "W"

TRACT "D", BLOCK "X"

TRACT "D", BLOCK "Y"

TRACT "D", BLOCK "Z"

TRACT "D", BLOCK "AA"

TRACT "D", BLOCK "AB"

TRACT "D", BLOCK "AC"

TRACT "D", BLOCK "AD"

TRACT "D", BLOCK "AE"

TRACT "D", BLOCK "AF"

TRACT "D", BLOCK "AG"

TRACT "D", BLOCK "AH"

TRACT "D", BLOCK "AI"

TRACT "D", BLOCK "AJ"

TRACT "D", BLOCK "AK"

TRACT "D", BLOCK "AL"

TRACT "D", BLOCK "AM"

TRACT "D", BLOCK "AN"

TRACT "D", BLOCK "AO"

TRACT "D", BLOCK "AP"

TRACT "D", BLOCK "AQ"

TRACT "D", BLOCK "AR"

TRACT "D", BLOCK "AS"

TRACT "D", BLOCK "AT"

TRACT "D", BLOCK "AU"

TRACT "D", BLOCK "AV"

TRACT "D", BLOCK "AW"

TRACT "D", BLOCK "AX"

TRACT "D", BLOCK "AY"

TRACT "D", BLOCK "AZ"

TRACT "D", BLOCK "BA"

TRACT "D", BLOCK "BB"

TRACT "D", BLOCK "BC"

TRACT "D", BLOCK "BD"

TRACT "D", BLOCK "BE"

TRACT "D", BLOCK "BF"

TRACT "D", BLOCK "BG"

TRACT "D", BLOCK "BH"

TRACT "D", BLOCK "BI"

TRACT "D", BLOCK "BJ"

TRACT "D", BLOCK "BK"

TRACT "D", BLOCK "BL"

TRACT "D", BLOCK "BM"

TRACT "D", BLOCK "BN"

TRACT "D", BLOCK "BO"

TRACT "D", BLOCK "BP"

TRACT "D", BLOCK "BQ"

TRACT "D", BLOCK "BR"

TRACT "D", BLOCK "BS"

TRACT "D", BLOCK "BT"

TRACT "D", BLOCK "BU"

TRACT "D", BLOCK "BV"

TRACT "D", BLOCK "BW"

TRACT "D", BLOCK "BX"

TRACT "D", BLOCK "BY"

TRACT "D", BLOCK "BZ"

TRACT "D", BLOCK "CA"

TRACT "D", BLOCK "CB"

TRACT "D", BLOCK "CC"

TRACT "D", BLOCK "CD"

TRACT "D", BLOCK "CE"

TRACT "D", BLOCK "CF"

TRACT "D", BLOCK "CG"

TRACT "D", BLOCK "CH"

TRACT "D", BLOCK "CI"

TRACT "D", BLOCK "CJ"

TRACT "D", BLOCK "CK"

TRACT "D", BLOCK "CL"

TRACT "D", BLOCK "CM"

TRACT "D", BLOCK "CN"

TRACT "D", BLOCK "CO"

TRACT "D", BLOCK "CP"

TRACT "D", BLOCK "CQ"

TRACT "D", BLOCK "CR"

TRACT "D", BLOCK "CS"

TRACT "D", BLOCK "CT"

TRACT "D", BLOCK "CU"

TRACT "D", BLOCK "CV"

TRACT "D", BLOCK "CW"

TRACT "D", BLOCK "CX"

TRACT "D", BLOCK "CY"

TRACT "D", BLOCK "CZ"

TRACT "D", BLOCK "DA"

TRACT "D", BLOCK "DB"

TRACT "D", BLOCK "DC"

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TRACT "D", BLOCK "DG"

TRACT "D", BLOCK "DH"

TRACT "D", BLOCK "DI"

TRACT "D", BLOCK "DJ"

TRACT "D", BLOCK "DK"

TRACT "D", BLOCK "DL"

TRACT "D", BLOCK "DM"

TRACT "D", BLOCK "DN"

TRACT "D", BLOCK "DO"

TRACT "D", BLOCK "DP"

TRACT "D", BLOCK "DQ"

TRACT "D", BLOCK "DR"

TRACT "D", BLOCK "DS"

TRACT "D", BLOCK "DT"

TRACT "D", BLOCK "DU"

TRACT "D", BLOCK "DV"

TRACT "D", BLOCK "DW"

TRACT "D", BLOCK "DX"

TRACT "D", BLOCK "DY"

TRACT "D", BLOCK "DZ"

TRACT "D", BLOCK "EA"

TRACT "D", BLOCK "EB"

TRACT "D", BLOCK "EC"

TRACT "D", BLOCK "ED"

TRACT "D", BLOCK "EE"

TRACT "D", BLOCK "EF"

TRACT "D", BLOCK "EG"

TRACT "D", BLOCK "EH"

TRACT "D", BLOCK "EI"

TRACT "D", BLOCK "EJ"

TRACT "D", BLOCK "EK"

TRACT "D", BLOCK "EL"

TRACT "D", BLOCK "EM"

TRACT "D", BLOCK "EN"

TRACT "D", BLOCK "EO"

TRACT "D", BLOCK "EP"

TRACT "D", BLOCK "EQ"

TRACT "D", BLOCK "ER"

TRACT "D", BLOCK "ES"

TRACT "D", BLOCK "ET"

TRACT "D", BLOCK "EU"

TRACT "D", BLOCK "EV"

TRACT "D", BLOCK "EW"

TRACT "D", BLOCK "EX"

TRACT "D", BLOCK "EY"

TRACT "D", BLOCK "EZ"

TRACT "D", BLOCK "FA"

TRACT "D", BLOCK "FB"

TRACT "D", BLOCK "FC"

TRACT "D", BLOCK "FD"

TRACT "D", BLOCK "FE"

TRACT "D", BLOCK "FF"

TRACT "D", BLOCK "FG"

TRACT "D", BLOCK "FH"

TRACT "D", BLOCK "FI"

TRACT "D", BLOCK "FJ"

TRACT "D", BLOCK "FK"

TRACT "D", BLOCK "FL"

TRACT "D", BLOCK "FM"

TRACT "D", BLOCK "FN"

TRACT "D", BLOCK "FO"

TRACT "D", BLOCK "FP"

TRACT "D", BLOCK "FQ"

TRACT "D", BLOCK "FR"

TRACT "D", BLOCK "FS"

TRACT "D", BLOCK "FT"

TRACT "D", BLOCK "FU"

TRACT "D", BLOCK "FV"

TRACT "D", BLOCK "FW"

TRACT "D", BLOCK "FX"

TRACT "D", BLOCK "FY"

TRACT "D", BLOCK "FZ"

TRACT "D", BLOCK "GA"

TRACT "D", BLOCK "GB"

TRACT "D", BLOCK "GC"

TRACT "D", BLOCK "GD"

TRACT "D", BLOCK "GE"

TRACT "D", BLOCK "GF"

TRACT "D", BLOCK "GG"

TRACT "D", BLOCK "GH"

TRACT "D", BLOCK "GI"

TRACT "D", BLOCK "GJ"

TRACT "D", BLOCK "GK"

TRACT "D", BLOCK "GL"

TRACT "D", BLOCK "GM"

TRACT "D", BLOCK "GN"

TRACT "D", BLOCK "GO"

TRACT "D", BLOCK "GP"

TRACT "D", BLOCK "GQ"

TRACT "D", BLOCK "GR"

TRACT "D", BLOCK "GS"

TRACT "D", BLOCK "GT"

TRACT "D", BLOCK "GU"

TRACT "D", BLOCK "GV"

TRACT "D", BLOCK "GW"

TRACT "D", BLOCK "GX"

TRACT "D", BLOCK "GY"

TRACT "D", BLOCK "GZ"

TRACT "D", BLOCK "HA"

TRACT "D", BLOCK "HB"

TRACT "D", BLOCK "HC"

TRACT "D", BLOCK "HD"

TRACT "D", BLOCK "HE"

TRACT "D", BLOCK "HF"

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TRACT "D", BLOCK "HH"

TRACT "D", BLOCK "HI"

TRACT "D", BLOCK "HJ"

TRACT "D", BLOCK "HK"

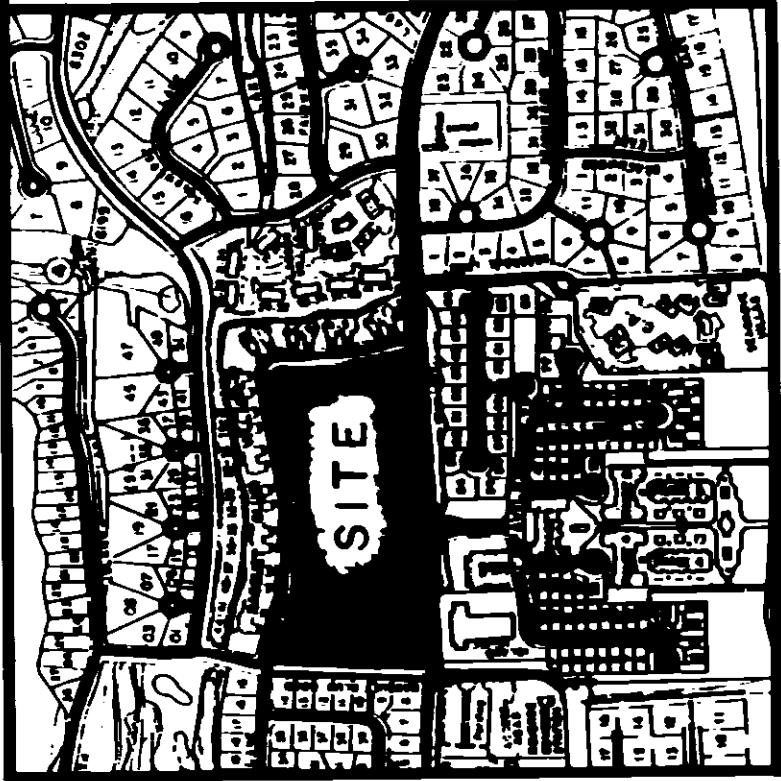
TRACT "D", BLOCK "HL"

TRACT "D", BLOCK "HM"

TRACT "D", BLOCK "HN"

TRACT "D", BLOCK "HO"

TRACT "D", BLOCK "HP"



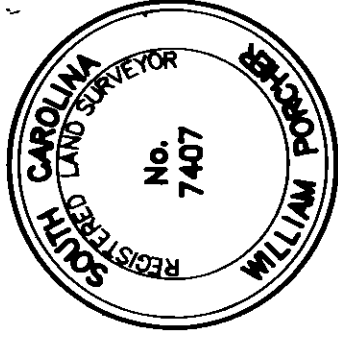
LOCATION MAP  
(NOT TO SCALE)

NOTES:

1. WATER AND SEWER ARE PROVIDED.
2. TAX MAP NO. 604-10-00-206
3. ZONING FOR THIS PLAT IS P.R.D.
4. DENSITY REQUIREMENTS ARE NOT APPLICABLE.
5. THE STREETS WHICH ARE AND WILL BE PRIVATELY OWNED ARE NOT, NOR WILL BE DEDICATED TO THE CITY OF ISLE OF PALMS AND NO ACCEPTANCE IS PROVIDED HEREIN NOR TO BE INFERRED HEREFROM.
6. FLOOD ZONES SHOWN HEREON ARE SUBJECT TO REVISIONS BY F.E.M.A., CONSULT THE CURRENT FLOOD INSURANCE RATE MAP FOR VERIFICATION.

SUBDIVISION

Approved by the City of  
Isle of Palms Planning  
and Zoning Commission  
This 9th day of March, 1994  
Clerk



I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein.

WILLIAM PORCHER  
LAND SURVEYOR  
S.C. Reg. No. 7407

HP TENNIS.CRD TENNIS2.DWG ROT-17.135

ENGINEERING, SURVEYING, & PLANNING, INC.  
(803) 577-4826 990 MORRISON DRIVE, CHARLESTON, SOUTH CAROLINA 29403

DWG. NO. LL-1198-P2

- LEGEND:
- IRON PIPE FOUND, OPEN TOP
  - IRON PIPE FOUND, CRIMPED TOP
  - IRON PIPE SET, OPEN TOP
  - PUNCH MARK SET
  - PUNCH MARK SET

REFERENCE PLATS RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE:

| PLAT BY          | DATE             | BOOK | PAGE |
|------------------|------------------|------|------|
| BRUCE B. JOHNSON | JUNE 18, 1980    | 155  | 60   |
| JOEL P. PORCHER  | MARCH 9, 1981    | AS   | 79   |
| JOEL P. PORCHER  | NOVEMBER 6, 1984 | BC   | 77   |

Charleston, South Carolina  
Office of Register Messie Conveyance

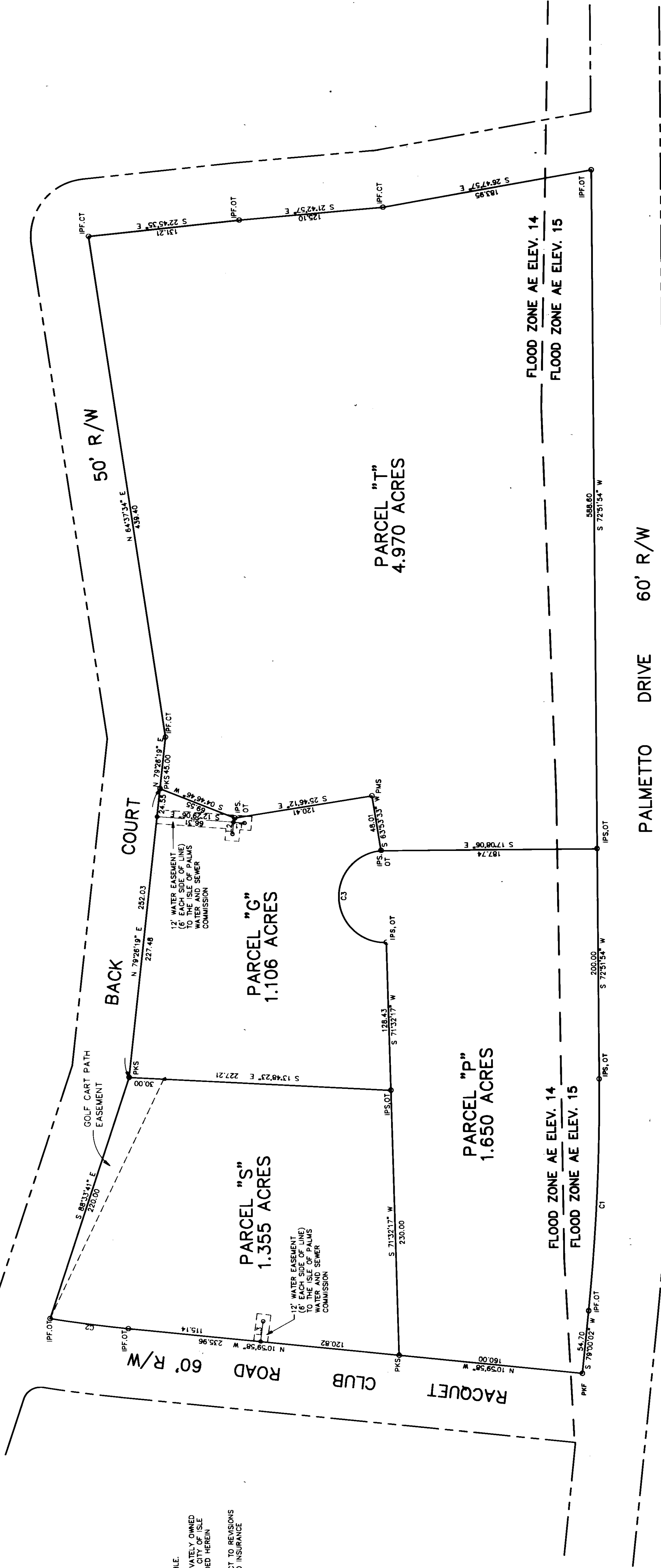
Plat recorded this 10 day of March, 1994, at 3:26 o'clock in PM, Book 88, Page 88, at the office of the Register Messie Conveyance, Charleston, South Carolina, by the Original plat (a 44x11 inch) of a 9.081 acre tract to ESP, INC.

Robert King  
Register Messie Conveyance

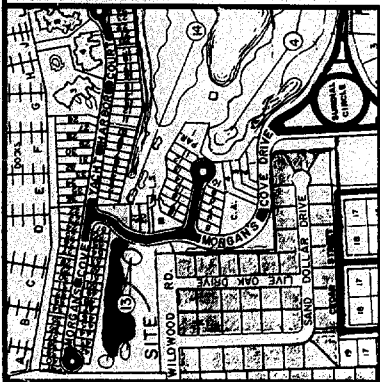
NOTE: TOTAL NUMBER OF PARKING SPACES IS 113 SPACES.

| CURVE | RADIUS  | LENGTH | CHORD  | CHORD BRG     |
|-------|---------|--------|--------|---------------|
| 1     | 1878.86 | 201.31 | 201.21 | S 73°53'38" W |
| 2     | 1115.92 | 85.28  | 85.27  | N 70°02'16" E |
| 3     | 40.00   | 123.57 | 78.97  | N 70°02'16" E |

| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| 1    | S 73°53'38" W | 10.16    |
| 2    | N 70°02'16" E | 10.16    |
| 3    | N 80°20'56" E | 17.84    |



SUBDIVISION  
FOR MORTGAGE PURPOSES  
HARBOR GOLF COURSE PRO SHOP  
AND TENNIS CENTER  
TRACT "B", BLOCK "N"  
A 9.081 ACRE TRACT  
INTO PARCELS G, P, S, & T  
WILD DUNES  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA  
FEBRUARY 21, 1994  
SCALE: 1"=50'



LOCATION MAP  
NOT TO SCALE

| LINE | BEARING         | DISTANCE |
|------|-----------------|----------|
| 1    | S 89° 32' 14" E | 13.94    |
| 2    | S 89° 32' 14" E | 30.00    |
| 3    | S 05° 06' 41" E | 48.01    |
| 4    | S 42° 10' 14" E | 23.24    |
| 5    | S 09° 51' 22" W | 31.23    |
| 6    | S 37° 46' 27" W | 16.85    |
| 7    | S 72° 56' 27" W | 36.75    |
| 8    | S 25° 14' 14" W | 45.13    |
| 9    | S 80° 36' 31" W | 23.81    |
| 10   | S 57° 27' 48" W | 38.16    |
| 11   | S 89° 45' 34" W | 19.75    |
| 12   | S 51° 43' 03" W | 14.25    |
| 13   | S 07° 06' 35" E | 26.35    |
| 14   | S 84° 26' 36" W | 26.16    |
| 15   | S 73° 11' 18" W | 16.64    |
| 16   | S 65° 36' 37" W | 11.50    |
| 17   | S 41° 28' 00" W | 15.47    |
| 18   | S 56° 50' 10" W | 20.25    |
| 19   | S 65° 41' 04" W | 23.15    |
| 20   | S 84° 02' 20" W | 13.69    |
| 21   | S 42° 38' 10" W | 22.53    |
| 22   | S 09° 37' 01" E | 22.45    |
| 23   | S 71° 01' 52" E | 32.37    |
| 24   | S 55° 15' 04" E | 32.95    |
| 25   | S 58° 03' 39" E | 24.38    |

FINAL

Approved by The City of  
Isle of Palms Planning  
and Zoning Commission

This 11 day of May 1994.  
Notary Public  
Gek



I, WILLIAM PORCHER, a Professional Land Surveyor of the State of South Carolina, hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein.

William Porcher  
LAND SURVEYOR  
S.C. Reg. No. 7407

| CURVE | DELTA          | RADIUS | LENGTH | TANGENT | CHORD  | CHORD BEG       |
|-------|----------------|--------|--------|---------|--------|-----------------|
| 1     | 0° 00' 00"     | 125.00 | 0.00   | 0.00    | 0.00   | S 27° 05' 15" W |
| 2     | 0° 00' 00"     | 125.00 | 0.00   | 0.00    | 0.00   | S 27° 05' 15" W |
| 3     | 0° 35' 41" 23" | 166.47 | 103.70 | 53.59   | 102.03 | S 13° 16' 14" E |
| 4     | 109° 34' 27"   | 50.00  | 95.62  | 70.85   | 81.70  | S 44° 19' 28" E |

MORGAN'S COVE DRIVE 50' R/W

TRACT "F" BLOCK "E" 1.041 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

TRACT "G" BLOCK "J" 2.207 ACRES

LEGEND:  
RBS - 1/4" ROUN RISE FOUND, CRAMPED TOP  
RBS - 1/2" REGAR SET

Charlotte, South Carolina  
Office of Engineering & Surveying  
P.L.L.C.  
2350 Colleton Blvd., Suite 100, Charleston, SC 29405  
Original plan (C-1000) prepared by J. M. DAVIDSON  
Register Measure Conveyance

Plat of  
TRACT "G", BLOCK "J"  
LAKE PARCEL 1  
WILD DUNES  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, S.C.  
SCALE: 1" = 50'

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

Sanitary Sewer  
LIFT STATION LOT

| DATE               | BY                   | BOOK | PAGE |
|--------------------|----------------------|------|------|
| JANUARY 5, 1977    | E.M. SEABROOK, JR.   | 44   | 100  |
| DECEMBER 16, 1985  | JOEL P. PORCHER      | 88   | 82   |
| APRIL 17, 1986     | WILLIAM PORCHER, JR. | 88   | 15   |
| SEPTEMBER 9, 1987  | E.M. SEABROOK, JR.   | 88   | 188  |
| JUNE 15, 1988      | WILLIAM PORCHER      | 88   | 101  |
| SEPTEMBER 12, 1989 | WILLIAM PORCHER      | 88   | 615  |
| SEPTEMBER 12, 1989 | WILLIAM PORCHER      | 88   | 145  |
| SEPTEMBER 12, 1989 | WILLIAM PORCHER      | 88   | 139  |
| APRIL 25, 1990     | WILLIAM PORCHER      | 88   | 85   |
| OCTOBER 23, 1990   | WILLIAM PORCHER      | 88   | 124  |
| JULY 1, 1991       | WILLIAM PORCHER      | 88   | 104  |

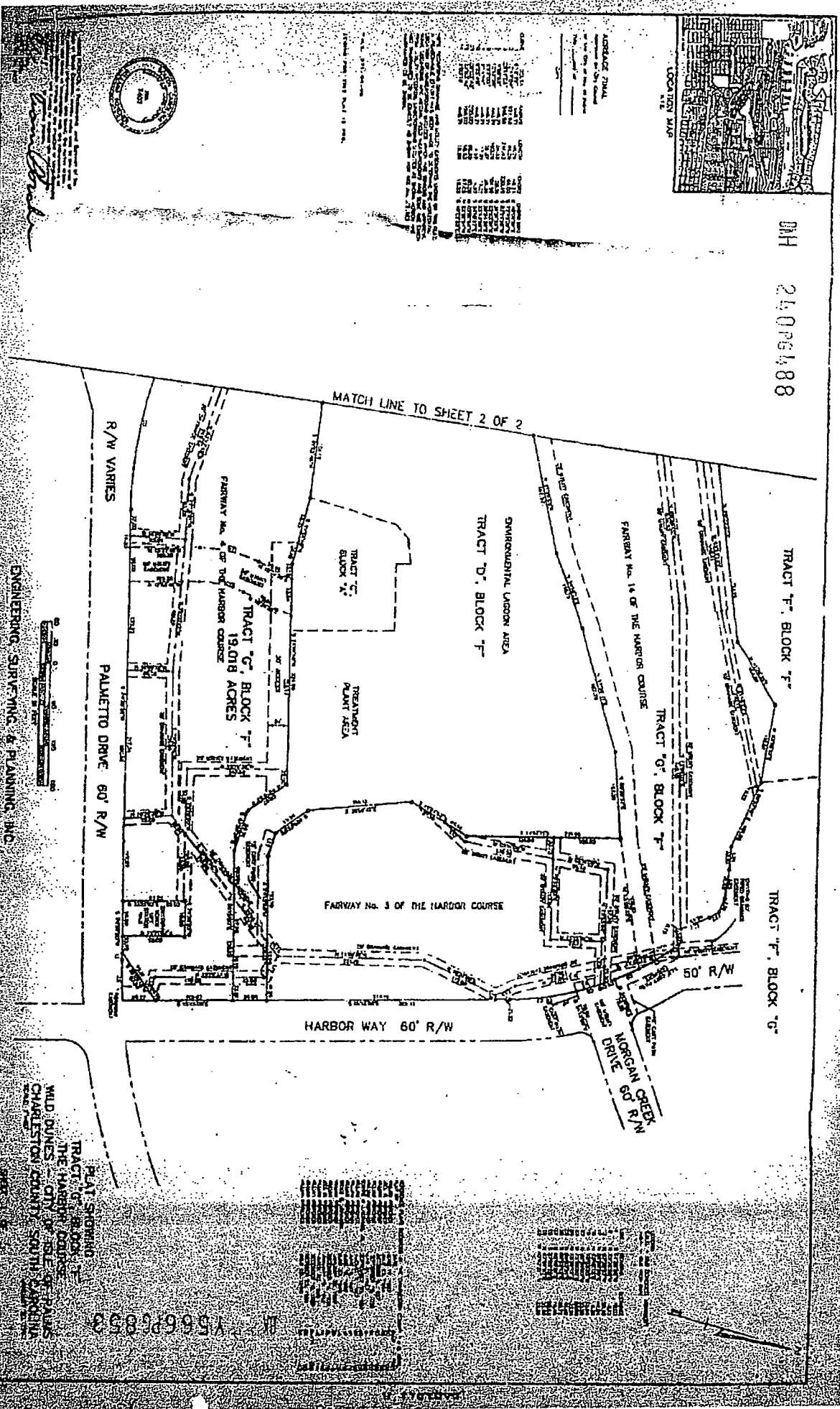


ENGINEERING, SURVEYING, & PLANNING, INC.  
990 MORRISON DR., CHARLESTON, SOUTH CAROLINA 29403  
(803) 577-4626





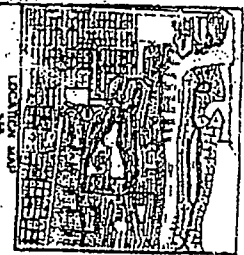
DH 24096488



ENGINEERING, SURVEYING, & PLANNING, INC.

PLAT SHOWING TRACT 'G', BLOCK 'F' THE HARBOR COURSE WILD DUNES CITY OF ISLE OF PALMS CHARLESTON COUNTY, SOUTH CAROLINA

Y5666P6853

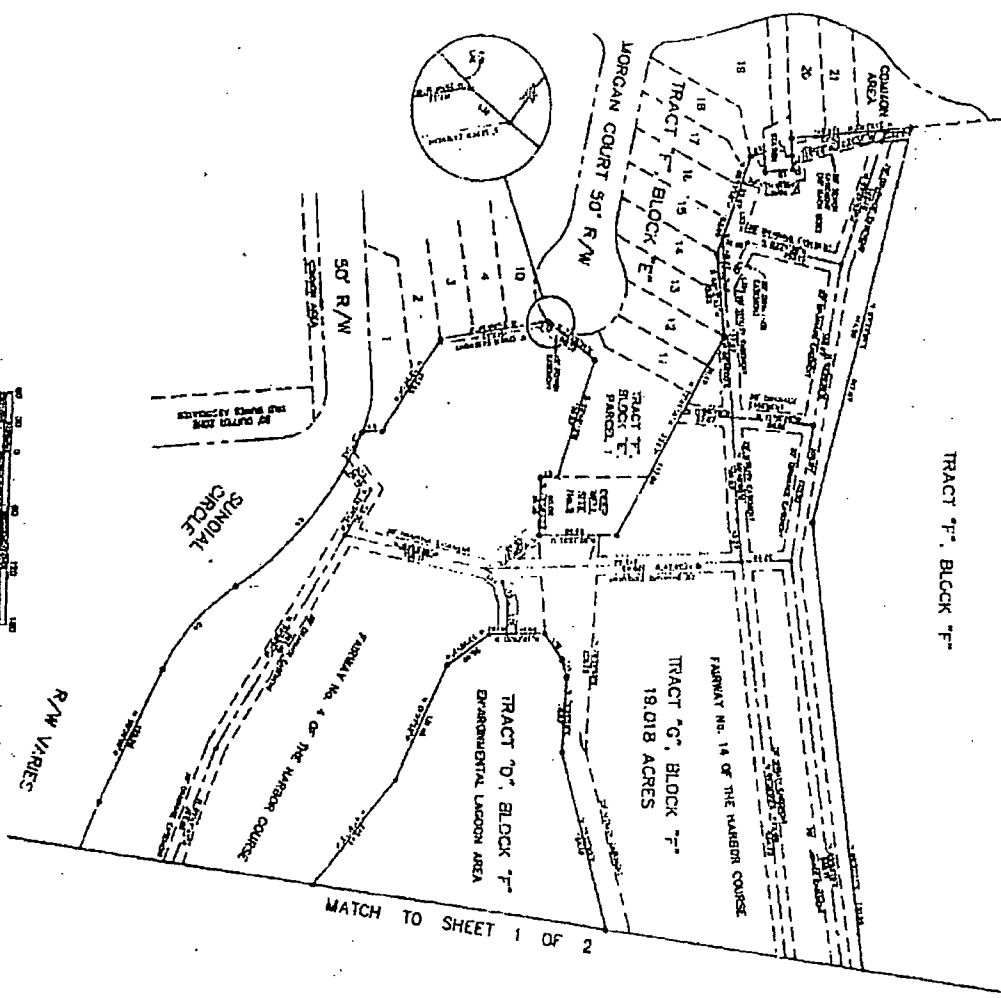


ASSESSOR'S MAP  
This map is prepared and filed for the purpose of showing the location and boundaries of the property described in the accompanying plat, and is not intended to show the location and boundaries of any other property.



WILD DUNES  
THE HARBOR COURSE  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA

DH 2406489

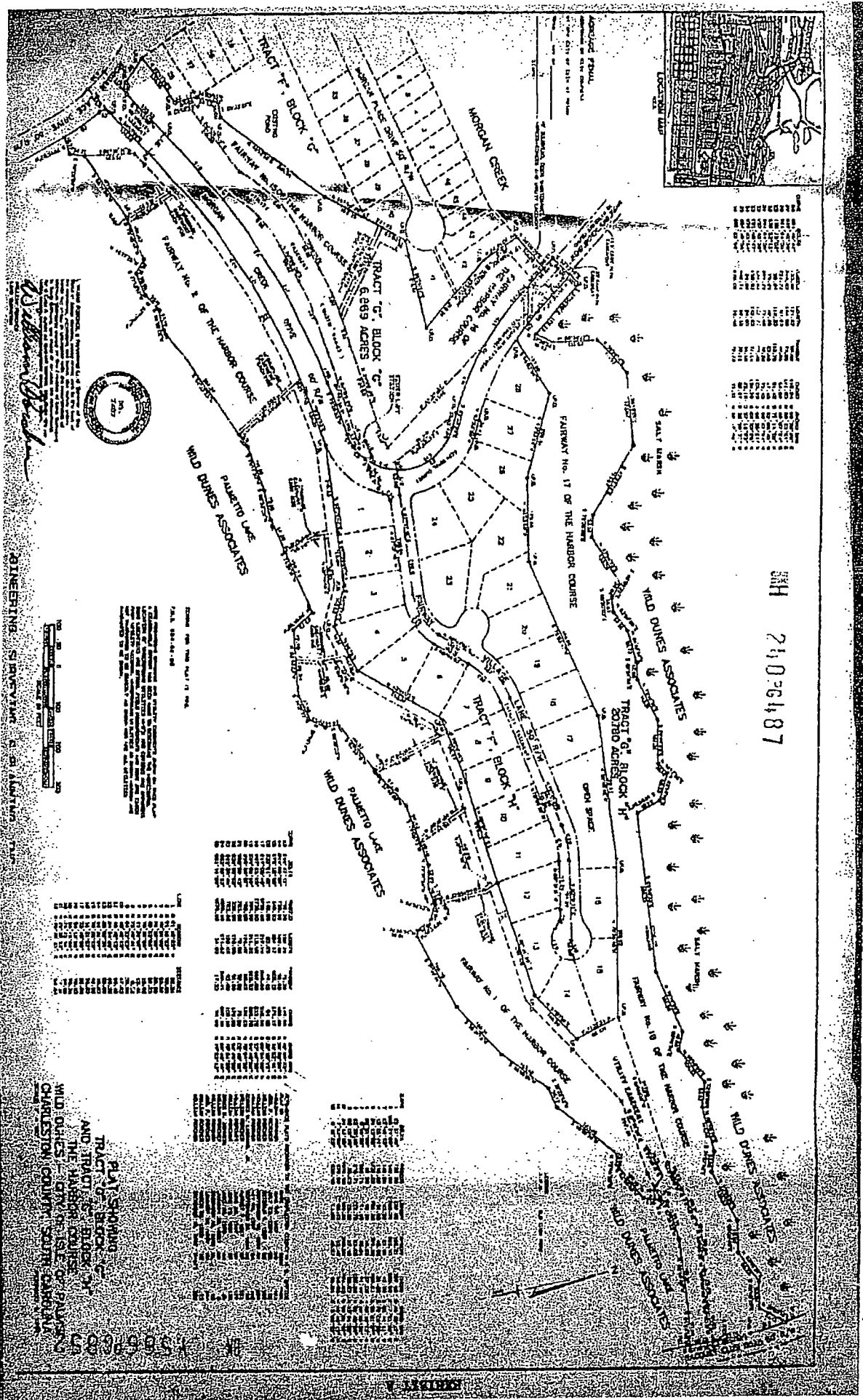


ENGINEERING, SURVEYING & PLANNING, INC.  
1000 W. 10th Street, Suite 100  
P.O. Box 1000  
Charleston, South Carolina 29405

MATCH TO SHEET 1 OF 2

PLAT SHOWING  
TRACT 'C', BLOCK 'F'  
THE HARBOR COURSE  
CITY OF ISLE OF PALMS  
CHARLESTON COUNTY, SOUTH CAROLINA

84 Y566P085L



SH 24066187

ENGINEERING, SURVEYING & CONSULTING, INC.

PLAT OF THE LANDS OF THE WILD DUNES ASSOCIATES, INC. IN CHARLESTON COUNTY, SOUTH CAROLINA

15866000

## ORDINANCE 2022-11

AN ORDINANCE AMENDING TITLE 5, PLANNING AND DEVELOPMENT, CHAPTER 4, ZONING, ARTICLE 2, DISTRICT REGULATIONS, SECTION 5-4-39, PDD PLANNED DEVELOPMENT DISTRICT, OF THE CITY OF ISLE OF PALMS CODE OF ORDINANCES TO PROVIDE CLARIFICATION BY CORRECTING SCRIVENER'S ERRORS AND DELETING PROVISIONS RELATED TO THE WILD DUNES PRD.

BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. That Section 5-4-39, "PDD planned development district," is hereby deleted in its entirety and replaced with a new Section 5-4-39 to state as follows:

"Sec. 5-4-39. PDD planned development district.

(1) *Purpose of district.* The purpose of the PDD planned development district is to permit a mixture of different types of housing with compatible commercial uses, shopping centers, office parks and other mixed use developments. Flexibility in design, character and quality of development and preservation of natural and scenic features are made possible through the approval of a plan which describes the specific uses, densities, setbacks, and other requirements for a planned development. The approved plan constitutes the district regulations for a particular planned development.

(2) *District regulations.* The following regulations shall apply to all uses in PDD planned development districts, other provisions in this chapter to the contrary notwithstanding:

|   |   |
|---|---|
| Minimum site area                           | Ten (10) acres  |
| Minimum lot area for structure              | Set in approved plan.   |
| Minimum lot width, yards, setbacks          | Set in approved plan.   |
| Maximum structure height                    | Forty feet (40').   |
| Off-street parking and loading requirements | Set in approved plan.   |
| Screening                                   | Set in approved plan, but not less than landscaping required by this chapter. |
| Signs                                       | Set in approved plan, but not greater than signs                              |

|                                    |                                     |
|------------------------------------|-------------------------------------|
|                                    | allowed by this chapter.            |
| Subdivision regulations            | Applicable regulations must be met. |
| Additional development regulations | See sections 5-4-12 and 5-4-15      |

(3) *PDD application and review procedures.* The following procedures shall apply to establishment of a PDD district, other provisions in this chapter to the contrary notwithstanding:

|    |                                      |  |
|----|--------------------------------------|--|
| a. | Zoning amendment required:           | PDD districts are established by amendment to the zoning ordinance in the manner prescribed for rezoning.  |
| b. | District regulations:                | The applicable regulations in this section and those in the approved plan and descriptive statement shall constitute the PDD district regulations for the site.  |
| c. | Pre-application conference optional: | An applicant for PDD zoning is encouraged, but not required, to contact the Planning Commission prior to submission of the application for information and review of the regulations and procedures applicable to the proposed plan and descriptive statement. |
| d. | Amendment application required:      | Amendment application required: Initiation of a PDD amendment shall be by submission of an application form provided by the Zoning Administrator with required attachments.  |
| e. | Development plans required:          | A site development plan is a required attachment to application for PDD amendment. The site development plan shall indicate the proposed uses of all land areas and such other information as the Zoning Administrator deems reasonably necessary for review.  |
| f. | Descriptive statement required:      | A descriptive statement is a required attachment to the application for PDD amendment. The descriptive statement shall indicate the characteristics and standards to be used for development of the site, and shall include at least the following items:      |
|    |                                      | 1. Legal description of site boundaries, and total area of the site;   |
|    |                                      | 2. Area and location of each type of use;  |
|    |                                      | 3. Number and density of dwelling units by type;   |

|    |                              |  |
|----|------------------------------|--|
|    |                              | 4. Description of open space locations, uses and proposed dedication for public use;   |
|    |                              | 5. Ownership and maintenance of streets, and proposed dedication to public;  |
|    |                              | 6. Methods for dealing with parking and the impact of projected traffic on the uses on the site and adjacent districts and streets;  |
|    |                              | 7. Steps proposed to comply with sediment control and storm drainage regulations.  |
|    |                              | 8. Steps proposed to comply with landscaping regulations;  |
|    |                              | 9. Details of association or organization involved in ownership and maintenance, including procedures and methods of operation;  |
|    |                              | 10. Outline for development phasing with anticipated timeframes;   |
|    |                              | 11. Design standards, procedures and methods demonstrating that development will result in an integrated use district, functional and compatible with the area;  |
|    |                              | 12. Proposed restrictive covenants to be recorded to ensure future compliance with the standards in the plan; and  |
|    |                              | 13. Such other information as may be appropriate for Planning Commission review.   |
| g. | Planning Commission review:  | Upon determination that the application meets above requirements, the Zoning Administrator shall forward the application to the Planning Commission for review and recommendation to City Council as required for zoning amendments.   |
| h. | City Council action:         | Upon receipt of the Planning Commission recommendation, City Council shall conduct a public hearing as required for zoning amendments, and may approve, approve with modifications accepted by applicant, or disapprove the proposed amendment.  |
| i. | Zoning and building permits: | Zoning and building permits shall not be issued until the zoning is approved by City Council, and approved plats, the approved descriptive statement and all required restrictive covenants are filed for record with the City Clerk and the County ROD Office, and all required bonds are posted with the City Clerk. |



|    |   |   |
|----|---|---|
| j. | District map:   | The site development plan approved by City Council shall be the zoning district map for the PDD and shall be the basis for issuance of zoning and building permits.   |
| k. | Changes to plan:  | 1. Minor changes. Changes proposed in writing by the applicant which do not alter district boundaries and which involve revision of minor characteristics of the PDD such as relocation of driveways, revision of floor plans, facades, landscaping, relocation of required parking, drainage structures, and features which do not materially affect the approved plan concept or violate any applicable regulations may be approved by the Zoning Administrator. Approval or rejection of the change is subject to review and final determination by the Planning Commission if the applicant or any party whose property is adversely affected files a written objection with the Planning Commission within ten (10) days after action by the Zoning Administrator. An applicant may submit a rejected change as an amendment to the plan under the normal zoning amendment procedures. |
|    |   | 2. Major changes. Changes proposed in writing by the applicant which alter district boundaries or which materially affect the characteristics of the PDD shall be submitted under normal zoning amendment procedures applicable to establishment of the PDD.  |
|    |   | 3. Permits. No zoning or building permits involving a minor or major change of the PDD descriptive statement or map shall be issued until the written change is filed with the City Clerk and recorded in the County ROD Office.  |
| l. | Failure to begin; failure to progress; failure to complete: | If the responsible party fails to begin, fails to progress, or fails to complete development as agreed in the descriptive statement, the City Council may charge the developer with violation of the zoning ordinance, may rezone the property, or may take any combination of these actions. In any event, if the planned development is not initiated within two (2) years of its establishment, the Planning Commission shall initiate the rezoning of the property to an appropriate district classification  |

|  |  |   |
|--|--|---|
|  |  | in conformity with the comprehensive plan.” |
|--|--|---|

SECTION 2. That should any part of this Ordinance be held invalid by a Court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 3. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 4. That this Ordinance take effect and be in full force immediately.

PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)  
Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading:\_\_\_\_\_

Public Hearing:\_\_\_\_\_

Second Reading:\_\_\_\_\_

Ratification:\_\_\_\_\_

## ORDINANCE 2022-12

AN ORDINANCE AMENDING THE CITY OF ISLE OF PALMS ZONING ORDINANCE BY AMENDING CERTAIN PROVISIONS OF THE ORIGINAL BEACH AND RACQUET CLUB PRD (ALSO KNOWN AS THE WILD DUNES PRD) TO EXCLUDE CERTAIN PROPERTIES FROM THE PRD DISTRICT, TO REDUCE THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED IN THE PRD DISTRICT FROM 2,449 UNITS TO 2,119 UNITS, AND TO REDUCE THE MAXIMUM NUMBER OF INN UNITS PERMITTED IN THE PRD DISTRICT FROM 350 UNITS TO 297 UNITS.

WHEREAS, the City adopted the Original Beach and Racquet Club PRD on May 29, 1975, including the May 28, 1975 Addendum, as the zoning and development standards for the development known as Wild Dunes; and

WHEREAS, the Original Beach and Racquet Club PRD was amended by the July 7, 1977 Beach and Racquet Club PRD Amendment, adopted by the City on July 14, 1977; and

WHEREAS, the City adopted Ordinance 2016-01 on February 23, 2016 further amending certain provisions of the Original Beach and Racquet Club PRD to exclude certain properties from the PRD district, to reduce the maximum number of dwelling units permitted in the PRD district from 2,500 to 2,449 units, and to preserve the existing height limitations in the PRD district (together the Original Beach and Racquet Club PRD and amendments are also known as the “Wild Dunes PRD”); and

WHEREAS, the Wild Dunes PRD is recognized as a legal nonconforming PDD district by section 5-4-39(4) of the City of Isle of Palms Zoning Ordinance; and

WHEREAS, City Council has initiated the rezoning of certain recreational facilities properties from the Wild Dunes PRD district to a new CR Conservation-Recreation district to ensure the preservation of existing public and/or private recreation activities; and

WHEREAS, City Council desires to reduce the maximum number of dwelling units and inn units permitted in the Wild Dunes PRD to reflect the current number of existing units and approved lots to ensure against undesirable development; and

WHEREAS, City Council finds that such amendments to the Wild Dunes PRD will serve the interest of the public health, safety, welfare and general convenience of the residents of the City of Isle of Palms.

NOW, THEREFORE, BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. That the City of Isle of Palms Zoning Ordinance is hereby amended by amending certain provisions of the Original Beach and Racquet Club PRD, as amended, (also known as the “Wild Dunes PRD”) to state as follows:

- a) That the last paragraph on Page 2 is hereby amended by changing the reference from “2,449 dwelling units” to “2,119 dwelling units.”
- b) That the legal description on Page 3 is hereby amended by inserting two new paragraphs at the end of the section to state as follows:

“Saving and excepting therefrom those areas of water, beaches, marshlands, and pieces of natural and manmade highland areas in the marshlands which contain less than two (2) acres, up to the mean high-water mark or abutting the primary highland, as generally shown on the Official Zoning Map as being within the CR Conservation-Recreation District.

Saving and excepting therefrom those parcels known and designated as TMS# 571-00-00-001, TMS# 571-08-00-226, TMS# 604-00-00-032, TMS# 604-00-00-033, TMS# 604-00-00-034, TMS# 604-00-00-035, TMS# 604-00-00-036, TMS# 604-05-00-185, TMS# 604-10-00-206, TMS# 604-01-00-001, ~~and~~ TMS# 604-01-00-059, and TMS# 604-02-00-053, as generally shown on the Official Zoning Map as being within the CR Conservation-Recreation District.”

- c) That Section “Master Land Use Plan Summary” on Page 5 is hereby amended in the third paragraph by changing the reference from “2,499 dwelling units” to “2,119 dwelling units.”
- d) That Table 2 on Page 7 is hereby amended by changing the maximum number of dwelling units permitted in the PRD District from “2,449” to “2,119” and by changing the maximum number of inn units permitted in the PRD District from “350” to “297.”
- e) That Table 3 on Page 8 is hereby amended by changing the maximum number of dwelling units permitted in the PRD District from “2,449” to “2,119.”
- f) That the first paragraph on Page 10 is hereby amended by changing the reference from “350 inn units” to “297 inn units” and to delete the number “200” from the last sentence.
- g) That Section “Criteria for Residential ‘B’ Sub-District” on Page 22 is hereby amended by changing the reference from “350 inn units” to “297 inn units.”

- h) That all other provisions of the Original Beach and Racquet Club PRD, as amended, which are not inconsistent herewith shall remain in full force and effect.

SECTION 2. That should any part of this Ordinance be held invalid by a Court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 3. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 4. That this Ordinance take effect and be in full force immediately.

PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)  
Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading:\_\_\_\_\_

Public Hearing:\_\_\_\_\_

Second Reading:\_\_\_\_\_

Ratification:\_\_\_\_\_

ORDINANCE 2022-

AN ORDINANCE AUTHORIZING THE CITY ADMINISTRATOR OF THE CITY OF ISLE OF PALMS TO EXECUTE THE NECESSARY DOCUMENTS TO ENTER INTO THAT CERTAIN FIRST AMENDMENT TO LEASE AGREEMENT BETWEEN THE CITY AND MARKER116, LLC ATTACHED HERETO AS EXHIBIT I AND INCORPORATED HEREIN BY REFERENCE.

**WHEREAS**, the City of Isle of Palms (“Landlord”) and MARKER116, LLC (“Tenant”) are parties to that certain Restaurant Lease Agreement dated November 12, 2020 (“*Lease*”) to lease certain property located at the City of Isle of Palms Marina, 50 41<sup>st</sup> Avenue, Isle of Palms, South Carolina, known generally as the “Marina Restaurant” (the “Property”); and

**WHEREAS**, as consideration for the parties desiring to enter an amended and revised parking arrangement, Landlord and Tenant wish to amend the Lease pursuant to the terms stated herein; and

**WHEREAS**, City Council finds that leasing the Property under such amended terms to MARKER116, LLC will serve the interest of the public health, safety, welfare and general convenience of the residents of the City of Isle of Palms; and

**WHEREAS**, S.C. Code sections 5-7-40 and 5-7-260 require that City Council act by ordinance in leasing any lands of the municipality.

NOW, THEREFORE, BE IT ORDAINED AND ENACTED BY THE MAYOR AND COUNCIL MEMBERS OF THE CITY OF ISLE OF PALMS, SOUTH CAROLINA, IN CITY COUNCIL ASSEMBLED:

SECTION 1. City Council authorizes the City Administrator to execute the First Amendment to the Lease Agreement between the City of Isle of Palms and MARKER116, LLC which is attached hereto as Exhibit I and incorporated herein by reference.

SECTION 2. That should any part of this Ordinance be held invalid by a court of competent jurisdiction, the remaining parts shall be severable therefrom and shall continue to be in full force and effect.

SECTION 3. That all ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

SECTION 4. That this Ordinance shall take effect and be in full force immediately.



PASSED AND APPROVED BY THE CITY COUNCIL FOR THE CITY OF ISLE  
OF PALMS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
Phillip Pounds, Mayor

(Seal)  
Attest:

\_\_\_\_\_  
Nicole DeNeane, City Clerk

First Reading: \_\_\_\_\_

Public Hearing: \_\_\_\_\_

Second Reading: \_\_\_\_\_

Ratification: \_\_\_\_\_

EXHIBIT I  
(ATTACH FIRST AMENDMENT)

STATE OF SOUTH CAROLINA

COUNTY OF CHARLESTON

First Amendment  
to  
Lease Agreement

This First Amendment to Restaurant Lease Agreement (“**First Amendment**”) is entered into by and between the CITY OF ISLE OF PALMS, a political subdivision of the State of South Carolina, having an address at c/o City Administrator, 1207 Palm Boulevard, Isle of Palms, SC 29451 (“**Landlord**”) and MARKER116, LLC, a South Carolina limited liability company, having an address at 27 26th Avenue, Isle of Palms, SC 29451 (“**Tenant**”) this \_\_\_\_ day of \_\_\_\_\_, 2022. Landlord and Tenant may be referred to herein as the “parties.”

#### RECITALS

**WHEREAS**, the Landlord and Tenant are parties to that certain Restaurant Lease Agreement dated November 12, 2020 (“**Lease**”) to lease certain property located at the City of Isle of Palms Marina, 50 41<sup>st</sup> Avenue, Isle of Palms, South Carolina, known generally as the “Marina Restaurant” and more specifically defined in the Lease and referred to herein as the “Premises.”; and

**WHEREAS**, as consideration for the parties desiring to enter an amended and revised parking arrangement, Landlord and Tenant wish to amend the Lease pursuant to the terms stated herein.

**NOW, THEREFORE**, in consideration of the mutual covenants and conditions contained herein, the Landlord and Tenant, for themselves and their successors and assigns, agree as follows:

1. The foregoing recitals are incorporated herein.
2. The Lease is hereby amended as follows:
  - A. Section 3.02(a) shall be amended to require Tenant to make Percentage Rent payments on an annual basis (subject to the provisions of revised Section 3.02(c)), rather than a quarterly basis.
  - B. The following provision hereby replaces Section 3.02(c) in its entirety:

**Section 3.02 Percentage Rent - Subsection (c).** Notwithstanding anything in this Lease to the contrary, within ninety (90) days after the end of each Lease Year or partial Lease Year, Tenant shall provide Landlord a statement showing the Gross Sales for the preceding year. The Tenant may provide the Landlord a copy of all ST-3 State Sales and Use Tax Returns filed by Tenant for the preceding year, and shall remit to Landlord the cumulative Percentage Rent to Landlord based on such returns. Any intentional or deliberate misrepresentation by Tenant of its Gross Sales in any ST-3 State Sales and Use Tax Return, statement of Gross

Sales, or other document or material provided to Landlord shall constitute an Event of Default hereunder.

C. **Section 7.02** shall be amended to add and include the following provisions:

a. During the term of this Lease and any amendments thereto, Landlord shall be subject to the following terms and conditions regarding current and prospective tenants (generally, the items below shall be collectively referred to as the “**Landlord Lease Restrictions**”):

i. Current and prospective commercial tenants or sub-tenants of the Isle of Palms Marina or Isle of Palms city owned property on 41<sup>st</sup> Avenue, Isle of Palms that is leasing, renting, managing or utilizing any real property, facilities, or other improvements from Landlord or any affiliate of Landlord shall be forbidden and shall not have the authorization or authority from the Landlord to obtain a liquor license for the service of on-premises liquor, spirits, or mixed drinks in which liquor is incorporated, including, without limitation, pre-made or canned alcoholic beverages; and

b. Landlord shall be required to provide notice of the Landlord Lease Restrictions to all current and prospective tenants that desire to lease property from Landlord. All prospective leases between Landlord and such prospective tenants and co-tenants must contain the Landlord Lease Restrictions and have provisions that any violation of the Landlord Lease Restrictions shall constitute a default under such lease and Landlord shall be required to take all actions, whether legal or equitable, to enjoin such tenant from breaching the Landlord Lease Restrictions.

c. All Landlord Lease Restrictions shall apply to current and future tenants of property leased by Landlord other than Tenant, as Tenant shall be expressly authorized to engage in such activities outlined herein.

D. The following provision hereby replaces Section 7.06 in its entirety:

**Section 7.06 Continuous Operations.** Except for events of Force Majeure and a commercially reasonable period not to exceed thirty (30) days in any Lease Year for purposes of renovating the Premises or periodic cleaning of the Premises, Tenant shall diligently and continuously operate its business on the Premises on days and hours that are, in the Tenant’s sole discretion, commercially reasonable. Such factors that Tenant may consider include, but are not limited to: (i) staffing availability and (ii) seasonal considerations.

E. Article IX Parking, is hereby amended pursuant to the following terms:

- i. Section 9.02 is hereby deleted in its entirety. The lot that is reflected on Exhibit C of the Lease currently referenced as the “Shared Parking Lot” shall now be considered to be part of the Tenant’s Exclusive Parking Lot as reflected on the updated Exhibit C Parking Plan, which is hereby amended and attached hereto as “Revised Exhibit C Parking Plan.”
- ii. Section 9.03 is hereby deleted in its entirety. The lot that is reflected on Exhibit C of the Lease currently referenced as the “Private Parking Lot” shall no longer be leased to the Tenant for any purpose, and any such leasehold rights that Tenant may have to the “Private Parking Lot” shall be conveyed to the Landlord for use as a public use space. However, during the Term of this Lease and any amendments thereto, Landlord shall be restricted from leasing the “Private Parking Lot” to any commercial tenant for any purpose. The former “Private Parking Lot” shall now be referred to as “Leased Parking Premises” in the updated Exhibit C which is hereby amended and attached hereto to this First Amendment as “Revised Exhibit C Parking Plan.”

**3. Termination of Guaranty.** The parties hereby acknowledge that Tenant has performed all requirements and conditions outlined in Exhibit F of the Lease, and that all individuals who executed any Guaranty, including, without limitation, Dave Lorenz, Chrissy Lorenz, Jon Bushnell and Bridget Bushnell (collectively, the “Released Parties”), are hereby discharged from all such guaranty obligations, and Landlord does hereby consider any such Guaranty as irrevocably discharged and terminated, and Landlord shall have no recourse against the Released Parties for any default of the Lease or this Amendment by Tenant.

**4. Miscellaneous.** Except as expressly amended hereby, each and every term, condition, warranty and provision of the Lease shall remain in full force and effect, and is incorporated herein by this reference, such that the Lease and this Amendment shall be read and construed as one instrument, all of which are hereby ratified, confirmed and approved by the parties hereto. Landlord and Tenant each represent and warrant to the other that, as of the date hereof, neither party is aware of an event of default existing under the Lease. If there is a conflict between this Amendment and the Lease, then the terms of this Amendment shall control. This Amendment may be executed by email, electronic or other digital signatures and in multiple counterparts, each of which shall be deemed an original but all of which, taken together, shall constitute the same instrument. This Amendment shall be effective immediately upon execution and delivery of the parties. This Amendment shall be governed by the laws of the State of South Carolina.

[INTENTIONALLY LEFT BLANK]  
[SIGNATURES ON FOLLOWING PAGES]

IN WITNESS WHEREOF, Landlord and Tenant have executed this First Amendment to Restaurant Lease Agreement as of the Commencement Date.

LANDLORD:

**CITY OF ISLE OF PALMS,**  
a political subdivision of the State  
of South Carolina

\_\_\_\_\_  
Witness

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

TENANT:

**MARKER116, LLC**  
a South Carolina limited liability company

\_\_\_\_\_  
Witness

By: \_\_\_\_\_  
Name: Dave Lorenz  
Title: Authorized Member



## Revised Exhibit C Parking Plan

## PETITION

STATE OF SOUTH CAROLINA     ) For the Preservation of public and private recreation facilities  
  ) and to cap the density in the Wild Dunes PRD to reflect the  
CITY OF ISLE OF PALMS         ) current existing units and approved lots

**To the Mayor and City Council of Isle of Palms:**

**WHEREAS**, the City of Isle of Palms Comprehensive Plan (the "**Comprehensive Plan**"), states that the primary planning concept is to "enhance the existing character of the island as a quality place to live and protect the environment both on and around the island" (the "**Planning Concept**"); and

**WHEREAS**, a stated objective of the Planning Concept is to "preserve the existing land use relationships"; and

**WHEREAS**, the City of Isle of Palms Current and Future Land Use Map, (the "**Land Use Map**"), depicts areas of the City designated for "Park/Recreational" and "Conservation" use; and

**WHEREAS**, Goal 7.1 of the Comprehensive Plan is to "Improve zoning regulations to protect the established character of the island"; and

**WHEREAS**, in order to further the objectives of the Comprehensive Plan and the Planning Concept, the City of Isle of Palms Code of Ordinances (the "**Code**"), established a CO conservation district (the "**Conservation District**"), the purpose of which is:

- a) To provide for an appropriate valuation that reflects the conservation use of land.
- b) To ensure the preservation of significant and vital natural resources.
- c) To lessen the hazards of loss of property, life, and the reduction of health and public safety due to periodic flooding by restricting uses in such areas.
- d) To provide for improved public recreation activities; and
- e) To provide for scenic easements to preserve the community heritage; and

**WHEREAS**, we believe it is in keeping with the goals and objectives of the Comprehensive Plan and the Planning Concept and the purposes of the CO conservation district zoning regulations to include the preservation of public and private recreation facilities in the City and to specifically incorporate not only all "Park/Recreational" and "Conservation" areas depicted on the Land Use Map, but also any and all other areas currently used as parks or for recreational uses, into the CO conservation district; and

**WHEREAS**, we further believe it is in keeping with goals and objectives of the Comprehensive Plan and Planning Concept to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots in order to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes.

**WHEREAS**, we submit this PETITION in order to support the actions of Council, to encourage the preservation of public and private recreation facilities and to support a cap on the density in the Wild Dunes PRD to reflect the current existing units and approved lots.

**NOW THEREFORE**, WE, the undersigned voters of the City of The Isle of Palms, request that the City enact an ordinance to amend the conservation district, Section 5-4-40 of the Isle of Palms Zoning Ordinance, to include preservation of public and private recreation facilities. Further, in order to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes, we request that an ordinance be enacted to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots.

## SIGNATURE PAGE TO PETITION

| No. | Printed Name                | Address                  | Signature                   |
|-----|-----------------------------|--------------------------|-----------------------------|
| 1   | STUART COLMAN               | 10 Live Oak Dr., IOP, SC | Stuart Colman               |
| 2   | Bruce Chodosh               | 12 Live Oak Dr. - IOP    | Bruce Chodosh               |
| 3   | HARRIET BLACKBURN           | 8 Live Oak Dr. IOP SC    | Harriet Blackburn           |
| 4   | <del>Don R. Blackburn</del> | 8 Live Oak               | <del>Don R. Blackburn</del> |
| 5   | NICK POHL                   | 2 LIVE OAK DR            | Nick Pohl                   |
| 6   | GAIL POHL                   | 2 LIVE OAK DR            | Gail Pohl                   |
| 7   | BEATRICE LOVE               | 9 Sand Dollar            | Beatrice Love               |
| 8   | DANA W. LOVE                | " " "                    | Dana W. Love                |
| 9   | Samantha Parker             | 5 Sand Dollar Dr.        | Sarah                       |
| 10  | Denise Williams             | 5 LIVE OAK DR.           | Denise Williams             |
| 11  | BRYAN WILLIAMS              | 5 LIVE OAK DR.           | Bryan Williams              |
| 12  | SCOTT CANOSA                | 3 Sand Dollar Dr.        | Scott Canosa                |
| 13  | Catherine Riley             | 1 Sand Dollar Dr         | Catherine Riley             |
| 14  | Susan Cotton                | 2 SAND DOLLAR DR.        | Susan Cotton                |
| 15  | Thomas Cotton               | 2 Sand Dollar Dr         | Thomas Cotton               |
| 16  | Denise Mayes                | 30 Sand Dollar Dr        | Denise Mayes                |
| 17  | Jesse Mayes                 | 30 Sand Dollar Dr        | Jesse Mayes                 |
| 18  | Rogen Basha                 | 26 Sand Dollar Dr        | Rogen Basha                 |
| 19  | Kathryn Basha               | 26 Sand Dollar Dr        | Kathryn Basha               |
| 20  | Jaclyn Mankin               | 28 Sand Dollar Dr        | Jaclyn Mankin               |
| 21  | Harold Jervey               | 22 Sand Dollar Dr        | Harold Jervey               |
| 22  | Barbara Jervey              | 22 Sand Dollar Dr.       | Barbara Jervey              |
| 23  | Elizabeth Milliron          | 11 Sand Dollar Dr.       | Elizabeth Milliron          |
| 24  | Mark Milliron               | 11 Sand Dollar Dr        | Mark Milliron               |
| 25  | James Grant                 | 6 LIVE OAK DR            | James Grant                 |

## PETITION

*In order to further preserve and conserve significant and vital natural resources and to ensure the continued availability of recreation facilities, I move that an ordinance be prepared to amend the conservation district, Section 5-4-40 of the Isle of Palms Zoning Ordinance, to include preservation of public and private recreation facilities. Further, in order to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes, I move that an ordinance be drafted to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots.*

*In so doing, I move that council engage in a plan of rezoning to protect conservation and recreation areas within Isle of Palms and to reduce the permitted density in the Wild Dunes PRD. I further move that a public hearing on the proposed ordinances be held on or about October 18, 2022, for the receipt of public comment. In so doing, I move that council invoke the pending ordinance doctrine.*

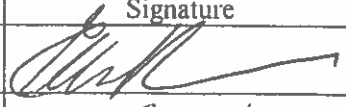



### SIGNATURE PAGE TO PETITION

| No. | Printed Name        | Address                 | Signature           |
|-----|---------------------|-------------------------|---------------------|
| 1   | Lynette Korte       | 5 45 <sup>th</sup> Ave  | Lynette Korte       |
| 2   | Heather Withersford | 43 Morgans Cove         | Heather Withersford |
| 3   | Kimberly Imbus      | 12 Dune Ridge           | Kimberly Imbus      |
| 4   | Lisa Ottara         | 72 BCV                  | L. Ottara           |
| 5   | Anne Toopes         | 20 Lindside Ct.         | Anne Toopes         |
| 6   | Rebecca Wright      | 38 Intracoastal         | Rebecca Wright      |
| 7   | LORI HARRIS         | 1300 OCEAN BLVD 330     | Lori H. Harris      |
| 8   | CHAR NIEMCZURA      | 26 30 <sup>th</sup> AVE | Char Niemczura      |
| 9   | Billy Harris        | 1300 Ocean Blvd         | Billy Harris        |
| 10  | SUSANNA LEE         | 1300 OCEAN BLVD 325     | Susanna Lee         |
| 11  | Belinda Shaffer     | 1300 Ocean Blvd         | Belinda Shaffer     |
| 12  | Kathleen FITZGERALD | 11 DRIFTWOOD LANE       | Kathleen Fitzgerald |

|    |                  |                                    |                             |
|----|------------------|------------------------------------|-----------------------------|
| 13 | Natalie May      | 3505 Palm Blvd                     | <del>72000</del>            |
| 14 | Stephanie Hetzel | 30 Fairway Dunes Ln                | <del>Stephanie Hetzel</del> |
| 15 | Paul Hetzel      | 30 Fairway Dunes Ln <sup>JOP</sup> | <del>Paul Hetzel</del>      |
| 16 | MARYALICE MORRIS | 25 Yacht Harbor                    | <del>XXXX</del>             |
| 17 | Robert Blackman  | 21 Yacht Harbor Ct                 | <del>Robert Blackman</del>  |
| 18 | Mary Pringle     | 713 Ocean Blvd                     | Mary Pringle                |
| 19 | PEYRE PRINGLE    | 713 OCEAN BLVD                     | Peyre Pringle               |
| 20 | Ellen H Smith    | 31 Seagrass Ln.                    | <del>Ellen H Smith</del>    |
| 21 | Robert K. Smith  | 31 Seagrass Ln.                    | Robert K Smith              |
| 22 | Krista S Nesser  | 308 Carolina Blvd                  | Krista S Nesser             |
| 23 | John M Nesser    | 308 Carolina Blvd                  | John M. Nesser              |
| 24 | DAVE GUILFORD    | 18 42nd AVE                        | <del>DAVE GUILFORD</del>    |
| 25 | LINDA GUILFORD   | " "                                | Linda Guilford              |

- 26 Kathi Schuitema 30 Seagrass Lane ~~Kathi D. Schuitema~~
- 27 <sup>Michael Boykin</sup> Melville Boykin 3005 Cameron ~~Melville Boykin~~
- 28 Gina W Linkous 46 Morgan Pl Dr ~~Gina W Linkous~~
- 29 GILBERT LINKOUS " " " ~~GILBERT LINKOUS~~
- 30 Amy Trauman 267 Forest Trail ~~Amy Trauman~~
- 31 Penny Lanigan 3017 Waterway Blvd ~~Penny Lanigan~~
- 32 Richard Lanigan 3017 Waterway Blvd ~~Richard Lanigan~~
- 33 ~~Richard Lanigan~~ 30 SEAGRASS LN
- 34
- 35

## SIGNATURE PAGE TO PETITION

| No. | Printed Name                       | Address                     | Signature   |
|-----|------------------------------------|-----------------------------|---|
| 1   | Ellen Oblow                        | 229 Forest Trail<br>IOP, SC |  |
| 2   | Jim Smitherman                     | 122 Sparrow Dr.<br>IOP, SC  | Jim Smitherman  |
| 3   | Andrea Patrick                     | 133 Sparrow Dr.<br>IOP, SC  | Andrea Patrick  |
| 4   | Rebecca Bowen                      | 128 Sparrow Dr.<br>IOP, SC  |  |
| 5   | Christopher Bowen                  | 128 Sparrow Dr.<br>IOP, SC  |  |
| 6   | Joe Pape                           | 3606 Waterway<br>Blvd       |  |
| 7   | Patti Porfeli                      | 3606 Waterway Blvd          | Patti Porfeli   |
| 8   | Jill Bright                        | 3001 Waterway Blvd.         | Jill Bright   |
| 9   | Mike Bright                        | 3001 Waterway Blvd          | Mike Bright   |
| 10  | Adrienne Anderson                  | 111 SPARROW DR              | Adrienne Anderson   |
| 11  | Linda Forslund                     | 241 Forest Trl              | Linda Forslund  |
| 12  | Jeff Forslund                      | 241 Forest Trail            | Jeff Forslund   |
| 13  | JAMES KING                         | 2705 Cameron Blvd           | James King  |
| 14  | BERNADETTE KING<br>Bernadette King | 2705 Cameron Blvd           | Bernadette King   |
| 15  | M. Elle Robinson                   | 121 SPARROW Dr.             | M. Elle Robinson  |
| 16  | Amanda Robinson                    | 121 Sparrow Dr.             | Amanda Robinson   |
| 17  | Glen Rex Robson                    | " " "                       | Glen Rex Robson   |
| 18  | Brian J Duffy                      | 3613 waterway Blvd          | Brian J Duffy   |
| 19  | Catherine Malloy                   | 3613 Waterway Bl            | Catherine Malloy  |
| 20  | Jon Casparini                      | 283 forest Trail            | Jon Casparini   |
| 21  | Wrightman<br>John Wrightman        | 3101 Waterway<br>BLVD       | John Wrightman  |
| 22  | Terry Wood                         | 3101 Waterway BLVD          | Terry Wood  |
| 23  | Sylvia Luke                        | 30 Morgans Cove             | Sylvia Luke   |
| 24  | Wendy Levine                       | 30 Morgans Cove             | Wendy Levine  |
| 25  |                                    |                             |   |


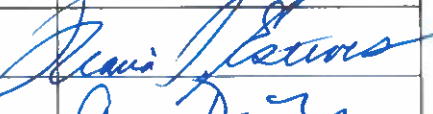


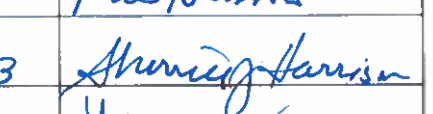
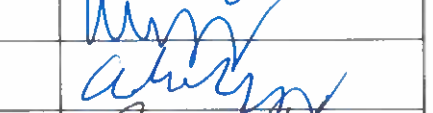

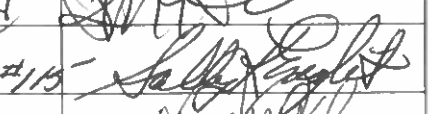
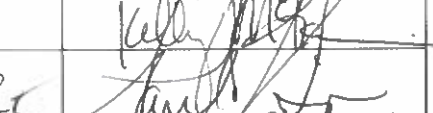
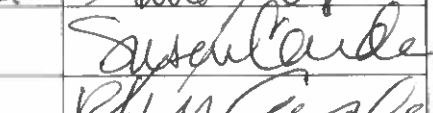
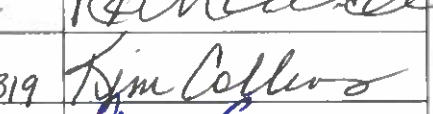

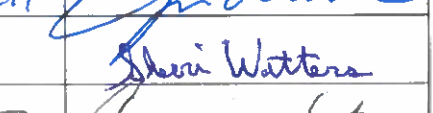
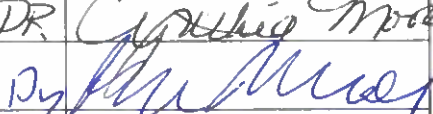







## SIGNATURE PAGE TO PETITION

| No. | Printed Name       | Address                | Signature          |
|-----|--------------------|------------------------|--------------------|
| 1   | Ed Willingham      | 2 Fairway Village Lane | Ed Willingham      |
| 2   | Amy Ballard        | 8 Lake Village Lane    | Amy Ballard        |
| 3   | Robert C Ballard   | 8 Lake Village Ln      | Robert C Ballard   |
| 4   | S. Bryan Stevens   | 10 Fairway Oaks Ln.    | S. Bryan Stevens   |
| 5   | W. Phill Stihl     | 34 HIDDEN GREEN        | W. Phill Stihl     |
| 6   | Joi Stauffer       | " "                    | Joi Stauffer       |
| 7   | Ray Evans          | 3 Fairway Oaks Ln      | Ray Evans          |
| 8   | Curtis Quattlebaum | 74 Fairway Dunes Ln.   | Curtis Quattlebaum |
| 9   | Nathy Quatter      | 74 Fairway Dunes Ln    | Nathy Quatter      |
| 10  | Susan White        | 64 Fairway Dunes Ln    | Susan White        |
| 11  | Steven White       | 64 Fairway Dunes Ln    | Steven White       |
| 12  | Mitzi Gilreath     | 30 Beachwood W         | Mitzi Gilreath     |
| 13  |                    |                        |                    |
| 14  |                    |                        |                    |
| 15  |                    |                        |                    |
| 16  |                    |                        |                    |
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(5)

## SIGNATURE PAGE TO PETITION

| No. | Printed Name                          | Address                               | Signature   |
|-----|---------------------------------------|---------------------------------------|---|
| 1   | Mark J. Sestki                        | 30 28th Ave. IOP                      |    |
| 2   | MARIA A. Esteves                      | 30 28th Ave                           |    |
| 3   | Anthony DeBiasi                       | 2704 Waterway Blvd                    |    |
| 4   | Amy Olson                             | 2704 Waterway Blvd                    |    |
| 5   | Katy Robinson                         | 29 28th Ave                           |    |
| 6   | Phil Robinson                         | 29 28th Ave                           |    |
| 7   | Sherrill Harrison                     | 7600 Palmetto Dr #313                 |    |
| 8   | Kathryn Young                         | 28 28th Ave                           |   |
| 9   | Adam Young                            | 28 28th Ave                           |  |
| 10  | Gindy Keane                           | 40 Waterway Island                    |  |
| 11  | Robert Keane                          | 40 Waterway Island                    |  |
| 12  | Sally English                         | 9002 Palmetto Dr #115                 |  |
| 13  | Kelly McLean                          | 22 Sandpiper Ct                       |  |
| 14  | Paul Simpson (spouse to Kelly McLean) | 22 Sandpiper Ct                       |  |
| 15  | Susan Carder                          | 418 Seascape                          |  |
| 16  | R. Kim Carder                         | 418 Seascape                          |  |
| 17  | Kim Collins                           | 319 Seascape<br>9002 Palmetto Dr #319 |  |
| 18  | Chris Collins                         | 9002 Palmetto Dr #319                 |  |
| 19  | Jim WATTERS                           | 5 PELICAN REACH                       |  |
| 20  | Sheri Watters                         | 5 Pelican Reach                       |  |
| 21  | CYNTHIA MOORE                         | 6302 BACKBAY DR                       |  |
| 22  | Brian Moore                           | 6302 Back Bay Dr                      |  |
| 23  |                                       |                                       |   |
| 24  |                                       |                                       |   |
| 25  |                                       |                                       |   |

(6)

## SIGNATURE PAGE TO PETITION

| No. | Printed Name  | Address              | Signature            |
|-----|---|----------------------|----------------------|
| 1   | Liz Riggs   | 18 Morgan Place      | Liz Riggs            |
| 2   | Jim Riggs   | 18 Morgan Place      | Jim Riggs            |
| 3   | Jenny Sullivan  | 6 Commons Ct         | Jenny Sullivan       |
| 4   | H.A. Sullivan   | 6 Commons St Ct      | H.A. Sullivan        |
| 5   | R. Landy  | 23 SANDPIPER CT      | R. Landy             |
| 6   | <sup>KAREN</sup> <del>Karen</del> <sup>GANDY</sup> <del>Gandy</del> | 23 Sandpiper Ct      | Karen Gandy          |
| 7   | Randell Smith   | 22 Yacht Harbour Ct  | Randell Smith        |
| 8   | Doug Smith  | 1                    | Doug Smith           |
| 9   | James D. Lackey   | 2 Fairway Oaks Lane  | James D Lackey       |
| 10  | Tonya Lackey  | 2 Fairway Oaks Lane  | Tonya D Lackey       |
| 11  | Kelly Powell  | 52 Grand Pavilion    | Kelly Powell         |
| 12  | Lee Powell  | 52 Grand Pavilion    | M. Lee Powell        |
| 13  | Catherine Harris  | 11 Fishers Alley     | C. Harris            |
| 14  | John Harris   | 11 Fishers Alley     | John Harris          |
| 15  | Raymond Jenkins   | 8 Oyster Row         | Raymond Jenkins      |
| 16  | <sup>PRISCILLA SHIELDS</sup> <del>Priscilla Jenkins</del>           | 8 Oyster Row         | Priscilla Jenkins    |
| 17  | ANDY SHIELDS  | 25 FAIRWAY OAKS LANE | Andy Shields         |
| 18  | LORI SHIELDS  | — " —                | Lori Shields         |
| 19  | Nelly Blankin Tucker  | 8 Morgan Pl          | Nelly Blankin Tucker |
| 20  | JANICE BURIGO   | 21 Edgewater Alley   | Janice Burigo        |
| 21  | THOMAS BURIGO   | 21 EDGEWATER ALLEY   | Thomas Burigo        |
| 22  | Wendy Garner  | 12 Lake Village Ln   | Wendy Garner         |
| 23  | ROBIN GARNER  | 12 LAKE VILLAGE LN   | Robin Garner         |
| 24  |   |                      |                      |
| 25  |   |                      |                      |



## SIGNATURE PAGE TO PETITION

| No. | Printed Name                | Address                     | Signature              |
|-----|-----------------------------|-----------------------------|------------------------|
| 1   | MICHAEL H. LANDRUM          | 902 CAROLINA BLVD           | [Signature]            |
| 2   | Jade [unclear]              | 907 CAROLINA BLVD           | Jade [unclear]         |
| 3   | Mr. [unclear]               | 907 Carolina Blvd           | Meghan Scott           |
| 4   | Brenda Smith                | 902 CAROLINA BLVD           | BRENDA SMITH           |
| 5   | Cindy PARKER                | 909 Lane                    | Cindy Parker           |
| 6   | Gayle BROWN                 | 901 CAROLINA BLVD           | Gayle Brown            |
| 7   | ROBERT E. BROWN             | 901 CAROLINA BLVD           | [Signature]            |
| 8   | CHRIS C. BROWN              | 813 CAROLINA BLVD           | [Signature]            |
| 9   | Cindy Thompson              | 811 Carolina Blvd           | Cindy Thompson         |
| 10  | Susan Harris                | 801 Ocean Blvd              | Susan Harris           |
| 11  | Stan Harris                 | 801 Ocean Blvd.             | Stan Harris            |
| 12  | NORTH PARK                  | 907 Ocean Blvd              | [Signature]            |
| 13  | Michael Reynolds            | 31, 31 <sup>st</sup> Ave    | [Signature]            |
| 14  | Holly Reynolds              | 31, 31 <sup>st</sup> Avenue | Holly Reynolds         |
| 15  | Jennie Pierce               | 4 9 <sup>th</sup> Ave       | Jennie Pierce          |
| 16  | Elizabeth Pinkau            | 909 Ocean Blvd              | Elizabeth Pinkau       |
| 17  | <del>BRADLEY R. MCKAY</del> | <del>510 CAROLINA</del>     | <del>[Signature]</del> |
| 18  | Robert Baker                | 8461 Battle Forest Dr       | Robert Baker           |
| 19  | BRADLEY R. MCKAY            | 510 CAROLINA                | Bradley R. McKay       |
| 20  | <del>BRADLEY R. MCKAY</del> | <del>510 CAROLINA</del>     | <del>[Signature]</del> |
| 21  | Susan McKay                 | 807 Carolina                | Susan McKay            |
| 22  | STEVE MCKAY                 | 807 Carline                 | Steve McKay            |
| 23  | ERIC Johnson                | 810 CAROLINA                | Eric Johnson           |
| 24  | Leslie Zinser               | 907 Ocean Blvd              | Leslie Zinser          |
| 25  | Harold Zinser               | 907 Ocean Blvd              | Harold Zinser          |

Duplicate

## SIGNATURE PAGE TO PETITION

| No.  | Printed Name        | Address                | Signature           |
|------|---------------------|------------------------|---------------------|
| 1    | Glenda Nemes        | 3006 Cameron Blvd, IOP | Glenda Nemes        |
| 2    | Richard Nemes       | 3006 Cameron IOP       | Richard Nemes       |
| 3    | Constance Floyl     | 39 Grandpavilion       | Constance Floyl     |
| 4    | Carol Harris        | 3 Forest Trail #2      | Carol Harris        |
| 5    | Gene Harris         | 3 Forest Trail #2      | Gene Harris         |
| 6    | Deborah Elliott     | 9 Palm Ct              | Deborah Elliott     |
| 7    | Cindy Ferrussi      | 2700 Waterway Blvd     | Cindy Ferrussi      |
| 8    | Lucinda Olason      | 11 29th Ave            | Lucinda Olason      |
| 9    | Maria Howe          | 278 Forest Trl         | Maria Howe          |
| 10   | Courtney Byrd       | 208 Forest Trl         | Courtney Byrd       |
| 11   | Wes Byrd            | 208 Forest Trl         | Wes Byrd            |
| 12   | Susan Burns         | 6 Morgan's Cove Ct     | Susan Burns         |
| 13   | Warren-Marcus Dashi | 2502 Cameron Blv       | Warren-Marcus Dashi |
| 14   | Cynthia Newberry    | 1 Bay Ct               | Cynthia Newberry    |
| * 15 | Carol Willingham    | 2 Fairway Village Ln   | Carol Willingham    |
| 16   | Ruth Hoover         | 5508 Palm Blvd         | Ruth Hoover         |
| 17   | Todd Hoover         | 5508 Palm Blvd         | Todd Hoover         |
| 18   | Sasha Hoover        | 5508 Palm Blvd         | Sasha Hoover        |
| 19   | Mya Hoover          | 5508 Palm Blvd         | Mya Hoover          |
| 20   | Brenda McCurry      | 3005 Palm Blvd         | Brenda McCurry      |
| 21   | James McCurry       | 3005 Palm Blvd         | James McCurry       |
| 22   | LARRY HOUSE         | 19-26th AVE            | Larry House         |
| 23   | MALCOLM BURGIE      | 3A-32ND AVE            | Malcolm Burgie      |
| 24   | Calvin R. Griffin   | 4 Marsh Point Lane     | Calvin R. Griffin   |
| 25   | HARLEY GRIFFIN      | " " " "                | Harley Griffin      |

## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address            | Signature         |
|-----|-------------------|--------------------|-------------------|
| 1   | Kelly Massier     | 9 Live Oak Dr.     | Kelly Massier     |
| 2   | Jeff Simon        | 9 Live Oak Dr.     | Jeff Simon        |
| 3   | Justin Rayman     | 5401 Hartnett Blvd | Justin Rayman     |
| 4   | Craig Graft       | 14 Sand Dollar     | Craig Graft       |
| 5   | Allison Graft     | 14 Sand Dollar     | Allison Graft     |
| 6   | Carol Varadi      | 3 Live Oak         | Carol Varadi      |
| 7   | Paul Varadi       | 3 Live Oak         | Paul Varadi       |
| 8   | Gwen Wise         | 23 Sand Dollar     | Gwen Wise         |
| 9   | Matthew Wise      | " "                | Matthew Wise      |
| 10  | Kathleen Turner   | 2500 Cameron       | Kathleen Turner   |
| 11  | Lisa Raess        | 1 Dolphin Row      | Lisa Raess        |
| 12  | Susan Grabiak     | 3 Beachwood E      | Susan Grabiak     |
| 13  | Elizabeth Gaughan | 24 Beachwood W     | Elizabeth Gaughan |
| 14  | Nancy Kinney      | 15 Beachwood W     | Nancy Kinney      |
| 15  | Peter Doherty     | 2500 Cameron       | Peter Doherty     |
| 16  | James Gaughan     | 24 Beachwood W     | James Gaughan     |
| 17  | Tom Grabiak       | 3 Beachwood E      | Tom Grabiak       |
| 18  | Dan Raess         | 1 Dolphin Row      | Dan Raess         |
| 19  | Noreen Nelson     | 14 Edgewater       | Noreen Nelson     |
| 20  | ARLENE DUNN       | 20 TWIN OAKS       | Arlene Dunn       |
| 21  | Leo Leitner       | 4 Live Oak Dr.     | Leo Leitner       |
| 22  | Suzanne Leitner   | 4 Live Oak Dr.     | Suzanne Leitner   |
| 23  | Krista Eidson     | 300 Caroline Blvd  | Krista Eidson     |
| 24  | Lawrence Eidson   | 300 Caroline Blvd  | Lawrence Eidson   |
| 25  | Mary Beth Partya  | 19 Sand Dollar Dr. | Mary Beth Partya  |














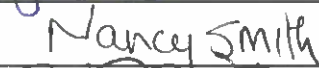




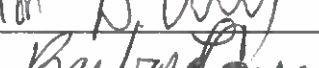




## SIGNATURE PAGE TO PETITION

| No. | Printed Name             | Address                      | Signature                |
|-----|--------------------------|------------------------------|--------------------------|
| 1   | Denise S. Boiko          | 238 Forest Trail, Iop, SC    | Denise S. Boiko          |
| 2   | Michael Boiko            | 238 Forest Trail, Iop, SC    | Michael Boiko            |
| 3   | Karen Wasechuck          | 227 Forest Tr.               | Karen Wasechuck          |
| 4   | Don Wasechuck            | 227 Forest Tr.               | Don Wasechuck            |
| 5   | Sarah Sweat              | 225 Forest Tr.               | Sarah Sweat              |
| 6   | Kate Towill              | 228 Forest Trail             | Kate Towill              |
| 7   | Ben Towill               | 228 Forest Trail             | Ben Towill               |
| 8   | Cheryl Storch            | 226 Forest Trail             | Cheryl Storch            |
| 9   | Cheryl Storch            | 226 Forest Trail             | Cheryl Storch            |
| 10  | Allison Killian          | 219 Forest Trail             | Allison Killian          |
| 11  | Andrew Scott             | 217 Forest Trail             | Andrew Scott             |
| 12  | Morgan Scott             | 217 Forest Trail             | Morgan Scott             |
| 13  | Steve Byrne              | 213 Forest Trail             | Steve Byrne              |
| 14  | Jamara Bugant            | 213 Forest Trail             | Jamara Bugant            |
| 15  | Cindy DeAntonio          | 210 Forest Trail             | Cindy DeAntonio          |
| 16  | Deegee Fennick           | 610 Palm Blvd                | Deegee Fennick           |
| 17  | Ryan Fennick             | 610 Palm Blvd                | Ryan Fennick             |
| 18  | Angela Fencik            | 3600 Waterway Blvd.          | Angela Fencik            |
| 19  | Tom Fencik               | 3600 Waterway Blvd.          | Tom Fencik               |
| 20  | <del>Josh Pelluk</del>   | <del>113 Sparrow Dr.</del>   | <del>Josh Pelluk</del>   |
| 21  | Josh Pelluk              | 113 Sparrow Dr.              | Josh Pelluk              |
| 22  | Walter Jayne             | 2505 Cameron Blvd            | Walter Jayne             |
| 23  | <del>Joshua Pelluk</del> | <del>2505 Cameron Blvd</del> | <del>Joshua Pelluk</del> |
| 24  | Alice Tew                | 240 Forest Trl               | Alice Tew                |
| 25  | John Tew                 | 240 Forest Trl               | John Tew                 |

## SIGNATURE PAGE TO PETITION

| No. | Printed Name         | Address            | Signature            |
|-----|----------------------|--------------------|----------------------|
| 1   | Tracy Rogers         | 536th Ave          | [Signature]          |
| 2   | Burkhardt            | 3709 Hartnett      | [Signature]          |
| 3   | Wade Lill            | 3706 Hartnett Blvd | [Signature]          |
| 4   | Tim Rogers           | 536th Ave          | [Signature]          |
| 5   | Tim Beischel         | 3709 Hartnett      | [Signature]          |
| 6   | Bernie Goodman       | 3503 Pylon Blvd    | [Signature]          |
| 7   | Jeff Burd            | 3705 Hartnett      | [Signature]          |
| 8   | Denise Cohen         | 3504 Cameron       | [Signature]          |
| 9   | Kathryn DUB          | 3707 Hartnett      | [Signature]          |
| 10  | Stephan Powers       | 3407 Cameron Blvd  | [Signature]          |
| 11  | Joseph M. Bettelheim | 3704 Hartnett Blvd | Joseph M. Bettelheim |
| 12  | Danil Can            | 3504 Cameron       | [Signature]          |
| 13  | Kylie Warden         | 7 Live Oak Dr.     | Kylie Warden         |
| 14  | Michael Warden       | 7 Live Oak Dr.     | [Signature]          |
| 15  | Laurie Warden        | 7 Live Oak Dr.     | [Signature]          |
| 16  | Nancy Cunningham     | 257 Forest Tr      | Nancy Cunningham     |
| 17  | Tim Brewerton        | 305 Carolina Blvd. | [Signature]          |
| 18  | Theresa Kilken       | 305 Carolina Blvd. | [Signature]          |
| 19  | Caroline Rayman      | 3401 Hartnett      | [Signature]          |
| 20  | Dan Tylak            | 11 Edgewater Alley | [Signature]          |
| 21  | Doreen Tylak         | 11 Edgewater Alley | [Signature]          |
| 22  | Larry Simon          | 10 Chapman Ave.    | [Signature]          |
| 23  | Judy Snyder          | 10 Sand Dollar Dr. | [Signature]          |
| 24  | Tracey Snyder        | 10 Sand Dollar Dr. | [Signature]          |
| 25  |                      |                    |                      |

## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address               | Signature   |
|-----|-------------------|-----------------------|---|
| 1   | Cary Fishburne    | 6 Passaway Village Ln |    |
| 2   | Larry WARREN      | 41 LINKSIDE CT.       |    |
| 3   | KATHLEEN WARREN   | 41 LINKSIDE CT.       |    |
| 4   | PATSY HINDMAN     | 7 BARNACLE ROW        |    |
| 5   | JAAC D NASSR      | 7 MARSH PT LANE       |    |
| 6   | STEVEN NASSR      | 7 MARSH PT LN         |    |
| 7   | David Alexander   | 3 Marsh Pt Ln         |    |
| 8   | Pam Callison      | 13 LAKE VILLAGE LN    |    |
| 9   | Nancy Smith       | 16 Lake Village       |    |
| 10  | W.S. Smith        | "                     |    |
| 11  | Tim Silvia        | 13 Lake Village       |    |
| 12  | Douglas M. Conrad | 27 GRAND PAVILION     |    |
| 13  | Barbara L. Conrad | 27 Grand Pavilion     |    |
| 14  | Richard K. Igher  | 18 Hidden Green Ln.   |    |
| 15  | LINDA NICOLETTI   | 9570 Palmetto         |   |
| 16  | MIKE CUSMO        | 4510 Palmetto Dr.     |   |
| 17  | Randolph Keuch    | 7 Summer Dunes Lane   |  |
| 18  | Mary Keuch        | 7 Summer Dunes Lane   |  |
| 19  | Alison Alexander  | 3 Marsh Point Ln.     |  |
| 20  | Steve Lee         | 46 Seagrass Ln        |  |
| 21  | Carol Lee         | 46 Seagrass Ln        |  |
| 22  |                   |                       |   |
| 23  |                   |                       |   |
| 24  |                   |                       |   |
| 25  |                   |                       |   |

20 names

SIGNATURE PAGE TO PETITION

| No. | Printed Name                | Address                          | Signature                   |
|-----|-----------------------------|----------------------------------|-----------------------------|
| 1   | Beverly Miller              | 3 Fairway Village Ln             | Beverly Miller              |
| 2   | Bob Miller                  | 3 Fairway Village Ln             | Bob Miller                  |
| 3   | Louise Carter               | 5 Fairway Village Ln             | Louise Carter               |
| 4   | Marvin Carter               | 5 Fairway Village Ln             | Marvin Carter               |
| 5   | Gina Fishburne              | 6 Fairway Village Ln             | Gina Fishburne              |
| 6   | <del>Craig Stillwagon</del> | <del>6 Fairway Village Ln</del>  | <del>Craig Stillwagon</del> |
| 7   | Matthew Fishburne           | 6 Fairway Village Ln             | Matthew Fishburne           |
| 8   | Bernie Jackson              | 11 Fairway Village Ln            | Bernie Jackson              |
| 9   | Shawn Drackwitz             | 11 Fairway Village Ln            | Shawn Drackwitz             |
| 10  | Linda Thompson              | 12 Fairway Village Ln            | Linda Thompson              |
| 11  | <del>Linda Thompson</del>   | <del>12 Fairway Village Ln</del> | <del>Linda Thompson</del>   |
| 12  | <del>John Cipkala</del>     | <del>13 Fairway Village Ln</del> | <del>John Cipkala</del>     |
| 13  | Due Cipkala                 | 13 Fairway Village Ln            | Due Cipkala                 |
| 14  | CYNTHIA McDONELL            | 16 Fairway Village Ln            | Cynthia McDowell            |
| 15  | Gayle Carrato               | 15 Fairway Village Ln            | Gayle Carrato               |
| 16  | Thomas Carrato              | 15 Fairway Village Ln            | Thomas Carrato              |
| 17  | Kathryn Stillwagon          | 17 Fairway Village Ln            | Kathryn Stillwagon          |
| 18  | Marcia Clark                | 18 Hidden Green Lane             | Marcia Clark                |
| 19  | Gina Evans                  | 51 Seagrass Lane                 | Gina Evans                  |
| 20  | TABB EVANS                  | 51 Seagrass Lane                 | TABB EVANS                  |
| 21  | CRAIG STILLWAGON            | 17 FAIRWAY VILLAGE LN            | Craig Stillwagon            |
| 22  |                             |                                  |                             |
| 23  |                             |                                  |                             |
| 24  |                             |                                  |                             |
| 25  |                             |                                  |                             |



## SIGNATURE PAGE TO PETITION

| No. | Printed Name              | Address                           | Signature                 |
|-----|---------------------------|-----------------------------------|---------------------------|
| 1   | Germaine Aprill           | 22 Waterway Island Dr.            | Germaine Aprill           |
| 2   | RICHARD J. TASAK          | 22 WATERWAY ISL. DR               | Richard J. Tasak          |
| 3   | Dolores Simanaitis        | 10 Waterway Island                | Dolores Simanaitis        |
| 4   | DANIEL A. SIMANAITIS      | 10 WATERWAY ISLAND DR             | Dan Simanaitis            |
| 5   | Jean Davis                | 38 Waterway Is.                   | Jean Davis                |
| 6   | Byron Davis               | 38 Waterway Is.                   | Byron Davis               |
| 7   | Lynn Guffy                | 7 Waterway Island                 | Lynn Guffy                |
| 8   | Jack Guffy                | 7 Waterway Island                 | Jack Guffy                |
| 9   | Rebecca Zisner            | 54 Seagrass                       | Rebecca Zisner            |
| 10  | Craig Zisner              | 54 Seagrass                       | Craig Zisner              |
| 11  | Dana Berry                | 39 Waterway Island Dr.            | Dana Berry                |
| 12  | Krish Shain               | 48 Waterway Island                | Krish Shain               |
| 13  | Bob Shain                 | 48 Waterway Island                | Bob Shain                 |
| 14  | Paul Liebrecht            | 12 Waterway Island Dr.            | Paul Liebrecht            |
| 15  | Joan Liebrecht            | 12 Waterway Island Dr.            | Joan Liebrecht            |
| 16  | <del>Dan Liebrecht</del>  | <del>12 Waterway Island Dr.</del> | <del>Dan Liebrecht</del>  |
| 17  | JANIS JAMES RULIN         | 25 Waterway Island Dr.            | Janis Rulin               |
| 18  | Anne F. McLeod            | 21 Waterway Island Dr.            | Anne F. McLeod            |
| 19  | <del>Alan B. McLeod</del> | <del>21 Waterway Island Dr.</del> | <del>Alan B. McLeod</del> |
| 20  | SANDY BURDEN              | 33 WATERWAY ISLAND DR.            | Sandy Burden              |
| 21  |                           |                                   |                           |
| 22  |                           |                                   |                           |
| 23  |                           |                                   |                           |
| 24  |                           |                                   |                           |
| 25  |                           |                                   |                           |

## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address                             | Signature         |
|-----|-------------------|-------------------------------------|-------------------|
| 1   | ART BRISACHER     | 18-41st Ave, Isle of Palms          | Art Brisacher     |
| 2   | INGRID BRISACHER  | 18-41st Ave, Isle of Palms SC 29451 | Ingrid Brisacher  |
| 3   | Hallie Neal       | 17 41st Ave IOP                     | Neal              |
| 4   | Lance Moleroy     | 17 41st Ave IOP                     | Lance             |
| 5   | Don Cameron       | 13 41st Ave IOP                     | Don Cameron       |
| 6   | BOB RATH          | 28 41st ST                          | Bob Rath          |
| 7   | Gloria Cameron    | 18-41st                             | Gloria Cameron    |
| 8   | ANDREW L. BARKER  | 26 41st AVENUE                      | AB                |
| 9   | ALCY M. WHISENANT | 2 42nd AVE                          | Alcy M. Whisenant |
| 10  | BILL R. WHISENANT | 2 42nd AVE.                         | Bill              |
| 11  | Curtis Helfrich   | 32 42nd Ave                         | Curtis Helfrich   |
| 12  | Cody Kerdle       | 21 42nd Ave                         | Cody Kerdle       |
| 13  | GERALDINE RANEY   | 28-42 Ave                           | Geraldine         |
| 14  | KEVIN MATHONEY    | 30 41st AVE                         | Kevin             |
| 15  | EMILY MATHONEY    | 30 41st AVENUE                      | Emily Mathoney    |
| 16  | BRISACHER         | 6 42nd Ave                          | Brisacher         |
| 17  | BRISACHER         | 6 42nd Ave                          | Brisacher         |
| 18  | David Janssen     | 12 Surf Lane                        | David Janssen     |
| 19  | Barbara Janssen   | 12 Surf Ln                          | Barbara Janssen   |
| 20  | Mark Roy          | 19 Fairy Village Ln                 | Mark Roy          |
| 21  | John Maxwell      | 7 Fairy Village                     | Jennifer Dornway  |
| 22  | Kate Dornway      | 7 Fairy Village                     | Kate Dornway      |
| 23  | Michael Roy       | 19 " " "                            | Michael Roy       |
| 24  |                   |                                     |                   |
| 25  |                   |                                     |                   |



## SIGNATURE PAGE TO PETITION

| No. | Printed Name             | Address                         | FOP | Signature        |
|-----|--------------------------|---------------------------------|-----|------------------|
| 1   | Jill Ilario              | 2 Sandwedge Ln                  |     | Jill Ilario      |
| 2   | Scott Ilario             | 2 Sandwedge Ln <sup>IOP</sup>   |     | Scott Ilario     |
| 3   | GAUTHAM KONR             | 63 Beach Club Villa             |     | Gautham Gondi    |
| 4   | HEIDI KONR               | 63 Beach Club Villa             |     | Heidi            |
| 5   | Tom Hickey               | 5757 PALM                       |     |                  |
| 6   | Thomas Mack              | 7600 palm                       |     |                  |
| 7   | Sigey Beach              | 7600 palm                       |     | Stan Sigey       |
| 8   | Penny Post               | 10 Commons Ct                   |     | Penny Post       |
| 9   | James Griffin            | 10 Commons Ct                   |     | James Griffin    |
| 10  | John Ostrowski           | 8 Commons Court                 |     | John Ostrowski   |
| 11  | John Ostrowski           | 8 Commons Court                 |     | John Ostrowski   |
| 12  | George Reeth             | 55 Ocean Pt Dr                  |     | George Reeth     |
| 13  | Harry Shadoan            | 21 Oyster Row                   |     | Harry Shadoan    |
| 14  | ANDREW ROTH              | 38 SEAGRASS                     |     | Andrew Roth      |
| 15  | Katrina Shuman           | 34 Fairway Oaks Lane            |     | Katrina Shuman   |
| 16  | Chris Shuman             | 34 Fairway Oaks Lane            |     | Chris Shuman     |
| 17  | Richard Moore            | 9001 Back Bay Dr                |     | Richard Moore    |
| 18  | PAULINE L MOORE          | 9001 Back Bay Dr                |     | Pauline Moore    |
| 19  | Sandy Hirschmann         | 16501 Back Bay Dr               |     | Sandy Hirschmann |
| 20  | <del>ROXANNE MOORE</del> | <del>16501 Back Bay Dr</del>    |     |                  |
| 21  | Rox Hooser               | 23 Fairway Oaks Ln              |     | Rox Hooser       |
| 22  | Lisa Hooser              | 23 Fairway Oaks Ln              |     | Lisa Hooser      |
| 23  | Sandi Schofield          | 1 Ocean Point Dr <sup>IOP</sup> |     | Sandi Schofield  |
| 24  |                          |                                 |     |                  |
| 25  |                          |                                 |     |                  |

## SIGNATURE PAGE TO PETITION

| No. | Printed Name           | Address            | Signature              |
|-----|------------------------|--------------------|------------------------|
| 1   | William Emery          | 5845 Park Bay Dr   | William Emery          |
| 2   | Ann Emery              | 5845 Park Bay Dr   | Ann Emery              |
| 3   | Doug Truslow           | 23 21st Ave        | Doug Truslow           |
| 4   | Carol C Truslow        | 23 21st Ave        | CC                     |
| 5   | E Bowden               | 15 Pelican Reach   | E Bowden               |
| 6   | JOHN CRAGEN            | 15 PELICAN REACH   | John Cragen            |
| 7   | Jim Goodwin            | 16 BACK CT         | Jim Goodwin            |
| 8   | Denise Goodwin         | 16 Back CT         | Denise d. Goodwin      |
| 9   | George Miers           | 269 Forrest Trl    | George Miers           |
| 10  | Mary Margaret Nelus    | 276 Forest Trail   | Mary Margaret Nelus    |
| 11  | William Anderson Nelus | 276 Forest Trl     | William Anderson Nelus |
| 12  | Hallie Pfeiffer        | 3604 Hartne H      | Hallie Pfeiffer        |
| 13  | Betty Hipps            | 3000 Waterway Blvd | Betty Hipps            |
| 14  | Horace Hipps           | 3000 Waterway Ave  | Horace Hipps           |
| 15  | Rebecca Stephenson     | 294 Forest Trl     | Rebecca Stephenson     |
| 16  | Jay Reynolds           | 519 Carolina Blvd  | Jay Reynolds           |
| 17  | Maggie Gray            | 519 Carolina Blvd  | Maggie Gray            |
| 18  | Matt & Laurie Haverman | 604 Carolina Blvd  | Matt & Laurie Haverman |
| 19  | John Sheridan          | 7 Chapman          | John Sheridan          |
| 20  | Liz Sheridan           | 7 Chapman          | Liz Sheridan           |
| 21  | EMILY ULRICH           | 3604 Cameron       | Emily Ulrich           |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name              | Address                              | Signature              |
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| 1   | <del>Letitia Ables</del>  | 229 Forest Trail                     | <del>[Signature]</del> |
| 2   | <del>Jim Smitherman</del> | 122 Sparrow Dr.<br>10P SC            | <del>[Signature]</del> |
| 3   | Katherine Bowen           | 3609 Waterway Blvd<br>10P, SC 29451  | [Signature]            |
| 4   | Brooks Bowen              | 3609 Waterway Blvd<br>10P SC 29451   | [Signature]            |
| 5   | Kimberly Moore            | 3 Forest Trail CT 29451              | [Signature]            |
| 6   | ZACHARY MOORE             | 3 Forest Trail CT 2<br>10P, SC 29451 | [Signature]            |
| 7   | Christine Zamboni         | 2804 Waterway Blvd 29451             | [Signature]            |
| 8   | Rita P. [unclear]         | 2804 Waterway Blvd                   | [Signature]            |
| 9   | Leaton Mims               | 2804 Cameron Blvd                    | [Signature]            |
| 10  | Susan Knoche              | 11 Chapman Ave                       | [Signature]            |
| 11  | Jonathan Knoche           | 11 Chapman Ave                       | [Signature]            |
| 12  | Blair Amon                | 109 Forest Trl                       | [Signature]            |
| 13  | Joe Amon                  | 109 Forest Trl                       | [Signature]            |
| 14  | Carnie Riddle             | 520th Ave                            | [Signature]            |
| 15  | Ross                      | 3610 Waterway Blvd                   | [Signature]            |
| 16  | Zainab Amani              | 3607 Waterway Blvd.                  | [Signature]            |
| 17  | Harish Mans. [unclear]    | 3607 Waterway Blvd.                  | [Signature]            |
| 18  | Elizabeth Reidenbach      | 20 30th Ave                          | [Signature]            |
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| 1   | LOUISE SAWYER        | 4 ENSIGN CT. 10P       | <i>[Signature]</i> |
| 2   | Darragh Simon        | 7 Laudon St 70P        | <i>[Signature]</i> |
| 3   | Brenda French        | 3013 Waterway 10P      | <i>[Signature]</i> |
| 4   | Susan Page           | 5 Forest Tr. Ct. 7 10P | <i>[Signature]</i> |
| 5   | Pamela Marsh         | 8 Tabby Lane           | <i>[Signature]</i> |
| 6   | Mary R. Major        | 6 Waterway Isl. Dr.    | <i>[Signature]</i> |
| 7   | Sheryl Shields       | 6 Alabaster Alley      | <i>[Signature]</i> |
| 8   | John W. Tracey       | 104 Shady Lane         | <i>[Signature]</i> |
| 9   | Ann W. Tracey        | 2202 Waterway Blvd     | <i>[Signature]</i> |
| 10  | Zach David           | 2202 Waterway          | <i>[Signature]</i> |
| 11  | STEVE DAVID          | 709 PALM BLVD          | <i>[Signature]</i> |
| 12  | CURTIS KAY           | 204 OCEAN BLVD         | <i>[Signature]</i> |
| 13  | Karla Kay            | 204 Ocean Blvd         | <i>[Signature]</i> |
| 14  | SUSAN CROSTREE BURNS | 3603 Palm Blvd         | <i>[Signature]</i> |
| 15  | Frank Avery Burns    | 3603 Palm Blvd         | <i>[Signature]</i> |
| 16  | Mary Ann Elanger     | 708 Palm Blvd          | <i>[Signature]</i> |
| 17  | SHARON LEE CLARK     | 715 Palm Blvd          | <i>[Signature]</i> |
| 18  | Charles W. Elliott   | 9 Palm Ct              | <i>[Signature]</i> |
| 19  | Neil P. Sawyer       | 4 ENSIGN CT            | <i>[Signature]</i> |
| 20  | Virginia P. Reardon  | 3 Beachwood West       | <i>[Signature]</i> |
| 21  | Susan B. Okawa       | 225 Forest Trail 70P   | <i>[Signature]</i> |
| 22  | CAROLYN DAVID        | 709 Palm Blvd.         | <i>[Signature]</i> |
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## SIGNATURE PAGE TO PETITION

| No.  | Printed Name             | Address                | Signature                   |
|------|--------------------------|------------------------|-----------------------------|
| V 1  | Laura Lovins             | 5 Links Clubhouse Ct   | Laura Lovins                |
| V 2  | Jeffrey Lovins           | 5 Links Clubhouse Ct   | Jeffrey A. Lovins           |
| P 3  | Carolyn Cuddy            | 12 Links Clubhouse Ct  | Carolyn B. Cuddy            |
| P 4  | <del>Carolyn Cuddy</del> | 12 Links Clubhouse Ct  | <del>Carolyn B. Cuddy</del> |
| P 5  | Sean Flynn               | 11 Links Clubhouse     | Sean Flynn                  |
| P 6  | JEN FLYNN                | 11 Links Clubhouse     | Jen Flynn                   |
| 7    | CHRIS MARQUEZ            | 8 LINKS CLUBHOUSE      | Chris Marquez               |
| 8    | Cindy Phillips           | 7 Links Clubhouse      | Cindy Phillips              |
| 9    | <del>Chris Marquez</del> | 40 Linkwood Ct.        | <del>Chris Marquez</del>    |
| 10   | <del>Chris Marquez</del> | 8 Links Clubhouse Ct   | <del>Chris Marquez</del>    |
| 11   | Scott Fleischman         | 6819 BACK BAY DR.      | Scott Fleischman            |
| 12   | Susan Fleischman         | 6819 Back Bay Dr       | Susan Fleischman            |
| 13   | Allen Owens              | 10 Fairway Oaks        | Allen Owens                 |
| 14   | Constance A. Gilmore     | 10 Links Clubhouse Ct. | Constance A. Gilmore        |
| V 15 | DIANE TROY               | 51 TWIWOAKS LN         | Diane Troy                  |
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## SIGNATURE PAGE TO PETITION

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| PT 1 | SALLY WEISMAN       | PID 6041200160<br>35 Fairway Dunes Ln | Sally Weisman       |
| PT 2 | ROBERT WEISMAN      | PID 6041200160<br>35 Fairway Dunes Ln | Robert Weisman      |
| 3    | SUSAN JOHNSON       | 10 Hidden Green                       | Susan Johnson       |
| 4    | JOHN HEAPHY         | 26 Beachwood W.                       | John Heaphy         |
| 5    | GERI HEAPHY         | 26 Beachwood W                        | Geri Heaphy         |
| 6    | Gretchen Imbarine   | 8 Yarent Harbor Ct                    | Gretchen Imbarine   |
| V 7  | MYRON TUCKER        | 8 MORGAN PL. DR                       | Myron Tucker        |
| 8    | Jimmie Frances Garl | 55<br>MORGAN PLACE DR                 | Jimmie Frances Garl |
| 9    | ANN SHERRELL        | 21<br>MORGAN COVE DR                  | Ann Sherrell        |
| 10   | DENNY SHERRELL      | 21<br>MORGAN COVE DR                  | Denny Sherrell      |
| V 11 | Mary McGovern       | 38 Morgan Creek Dr                    | Mary McGovern       |
| 12   | NANCY STONE         | 26 WATERWAY<br>ISLAND                 | Nancy Stone         |
| 13   | Todd Shytte         | 14 Ocean Point                        | Todd Shytte         |
| 14   | Mandy Shytte        | 14 Ocean Point                        | Mandy Shytte        |
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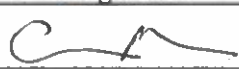
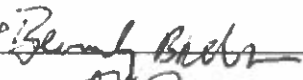
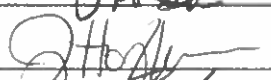



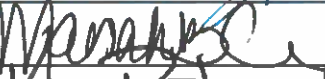

## SIGNATURE PAGE TO PETITION

| No. | Printed Name                           | Address   | Signature                            |
|-----|--|---|--------------------------------------|
| ✓ 1 | Charolyn Riker                         | 13 Seahorse Ct<br>IOP                                 | Charolyn Riker                       |
| 2   | FRANCINE K. Moring                     | 5 SUMMER DUNES LN                                     | Francine K. Moring                   |
| ✓ 3 | Lisa Roberts                           | 2305 Waterway Blvd.                                   | Lisa Roberts                         |
| ✓ 4 | 5200 Palm Blvd. LLC<br>by Rick Roberts | 5200 Palm Blvd. LLC<br><del>5200 Palm Blvd. LLC</del> | 5200 Palm Blvd. LLC<br>R. M. Roberts |
| ✓ 5 | Lynn McNally                           | 27 Waterway Is. Dr.                                   | Lynn R. McNally                      |
| ✓ 6 | Tom McNally <i>son</i>                 | 27. Waterway Is. Dr.                                  | Thomas M. McNally <i>son</i>         |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name    | Address                | Signature        |
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| 1   | Ricky Holley    | 16 Sandwedge Lane      | Ricky Holley     |
| 2   | Janet Holley    | 18 Sandwedge Lane      | Janet Holley     |
| 3   | Ricky           |                        |                  |
| 4   | Neil Draisin    | 21 Fairway Vill. Ln    | Neil Draisin     |
| 5   | Carolyn Draisin | 21 Fairway Village Ln. | Carolyn Draisin  |
| 6   | Shree Beverly   | 29 Dune Ridge Lane     | Shree Beverly    |
| 7   | Steve Beverly   | 29 DUNE Ridge Lane     | Steve Beverly    |
| 8   | Kate Lubin      | 20 OYSTER Row          | Kate Lubin       |
| 9   | Kathy Lubin     | 20 Oyster Row          | Kathy Lubin      |
| 10  | Melanie Eckles  | 17 Dune Ridge Lane     | Melanie Eckles   |
| 11  | Thomas Eckles   | 17 Dune Ridge Lane     | Thomas W. Eckles |
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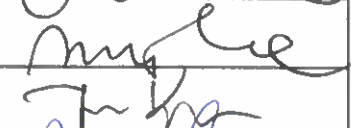
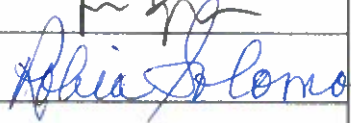


## SIGNATURE PAGE TO PETITION

| No. | Printed Name       | Address            | Signature   |
|-----|--------------------|--------------------|---|
| 1   | ALAN BAILOW        | 3009 WATERWAY BLVD |  |
| 2   | BEVERLY BAILOW     | 3009 WATERWAY BLVD |  |
| 3   | <del>JANIS</del>   | 3009               | <del>JANIS</del>  |
| 4   | Julie Hoffman      | 3015 Waterway Blvd |  |
| 5   | John Hoffman       | 3015 Waterway Blvd |  |
| 6   | Penelope A Portman | 3905 CAMERON BLVD  |  |
| 7   | EMILY ULRICH       | 3604 CAMERON BLVD  |  |
| 8   | Marian B Curran    | 286 FOREST TRAIL   |  |
| 9   | Kevin Brennan      | 286 FOREST TRAIL   |  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address                              | Signature         |
|-----|-------------------|--------------------------------------|-------------------|
| 1   | Krystal Ikonmidis | 9002 Palmetto Drive, #412, IOP 29451 | Krystal Ikonmidis |
| 2   | James Dunn        | 27 Fairway Oaks Ln IOP               | James Dunn        |
| 3   | Teresa Scott      | 28 Fairway Oaks Ln IOP               | Teresa Scott      |
| 4   | Greg Scott        | 28 Fairway Oaks Ln                   | Greg Scott        |
| 5   | Nancy Bell        | 6 Lake Village Ln                    | Nancy Bell        |
| 6   | Fredrick Bell III | 6 Lake Village Ln                    | Fredrick Bell III |
| 7   | William E MARTIN  | 116 GRAND PAVILION                   | William E Martin  |
| 8   | JAMES MALLOY      | 6 DUNE RIDGE LN                      | James Malloy      |
| 9   | James Malloy      | " "                                  | James Malloy      |
| 10  | Ernest Camp       | 36 Morgan Creek                      | Ernest Camp       |
| 11  | Kathy Nelson      | 6 Hidden Green                       | Kathy Nelson      |
| 12  | Paul Nelson       | 6 Hidden Green Ln                    | Paul Nelson       |
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| 1   | Alex Oroulos      | 36 32nd Ave       |   |
| 2   | Monica Oroulos    | 36 32nd Ave       |   |
| 3   | Brandy McMahon    | 29 Beachwood West |   |
| 4   | Christy Humphries | 16000 Dunes Blvd. |   |
| 5   | Inka Dziupkowska  | 134 Sparrow dr    |   |
| 6   | JAMES KOREN       | 134 Sparrow dr    |   |
| 7   | Robin Solomon     | 402 Carolina Blvd |  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address                 | Signature       |
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| 1   | LAWANA LIGAN      | 711 Ocean Blvd          | Lawana Ligan    |
| 2   | JANETTE GIFFORD   | 71 56 <sup>th</sup> Ave | Janette Gifford |
| 3   | Dorothy Hoerr     | 907 Carolina            | Dorothy Hoerr   |
| 4   | KAREN MALE-SNYDER | 905 CAROLINA            | Karen Snyder    |
| 5   | Georga Roem       | 904 Caroline Blvd       | Mr Roem         |
| 6   | EDMUND BURNS      | 915 CAROLINA            | Ed Burns        |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name          | Address                       | Signature             |
|-----|-----------------------|-------------------------------|-----------------------|
| 1   | Melissa Raskay-Bianco | 9 Fairway Village Ln<br>IOP   | Melissa Raskay-Bianco |
| 2   | Kelsey Bianco         | 9 Fairway Village Ln. IOP, SC | Kelsey Bianco         |
| 3   | Zach Hulsebos         | 30 21st Ave, IOP, SC          | Zach Hulsebos         |
| 4   | Sam Stone             | 30 21st Ave. IOP, SC          | Sam Stone             |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name          | Address                  | Signature            |
|-----|-----------------------|--------------------------|----------------------|
| 1   | Betty MILNER          | 3606 PALM BLVD           | Betty Milner         |
| 2   | Suzanne R. Enge       | 3702 Palm Blvd           | Suzanne Engerfoss    |
| 3   | Joe Riley Gambrell    | 801 Caroline Blvd.       | Joe P Gambrell       |
| 4   | Phyllis B. McGrew     | 108 <sup>th</sup> Ave.   | Phyllis McGrew       |
| 5   | Charlotte Riley       | 3306 Palm                | Charlotte Riley (own |
| 6   | N. Keith Engle        | 3702 Palm                | N. Keith Engle (own  |
| 7   | Helen Shymanski       | 3702 Palm                | HELEN Shymanski (own |
| 8   | Gail E. Jordan        | 3704 Palm BLVD           | Gail E. Jordan       |
| 9   | Ernest S. McGrew      | 3605 Palm Blvd           | Ernest S. McGrew     |
| 10  | Phyllis B. McGrew     | 3605 Palm Blvd           | Phyllis B. McGrew    |
| 11  | Patricia Buddemeyer   | 3601 Palm Blvd           | Pat Buddemeyer       |
| 12  | David Buddemeyer      | 3601 Palm Blvd           | David Buddemeyer     |
| 13  | Ellen G. Berry        | 3809 Cameron Blvd.       | Ellen G. Berry       |
| 14  | John "Ryan" Heinemann | 636 <sup>th</sup> Ave    | John Ryan Heinemann  |
| 15  | MATT FELTMAN          | 3 - 36 <sup>th</sup> Ave | Matthew Felts        |
| 16  | CINDY FELTMAN         | 3 - 36 <sup>th</sup> Ave | Cindy Felts          |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name        | Address                           | Signature           |
|-----|---------------------|-----------------------------------|---------------------|
| 1   | Susan E. Coe        | 102 Grand Pavilion                | Susan E. Coe        |
| 2   | Delbrah Q. Ophim    | 4 Grand Pavilion                  | Delbrah Q. Ophim    |
| 3   | Linda Ann H.        | 11 Seagrass                       | Linda Ann H.        |
| 4   | James Brastauskas   | 10 OYSTER ROW<br>10P SC 29451     | JAMES BRASTAUSKAS   |
| 5   | BETH LESNER         | 26 PELICAN REACH<br>10P SC 29451  | Beth A. Lesner      |
| 6   | Mary A. Lesner, Jr. | 26 PELICAN REACH<br>10P, SC 29451 | Mary A. Lesner, Jr. |
| 7   | Mary Ann Sherrers   | 10 Fairway Village Ln             | Mary Ann Sherrers   |
| 8   | JAMES S. FULLER     | 3 FISHERS ALLEY<br>10P, SC 23229  | James S. Fuller     |
| 9   | Edmon P. Fuller     | 3 Fishers Alley<br>10P 29451      | Edmon P. Fuller     |
| 10  | RICHARD H. WEST     | SNIPWATCH<br>C-318                | Rich West           |
| 11  | Hayden Jones        | 8 Fairway Village Ln              | Hayden Jones        |
| 12  | Christina Jones     | 8 Fairway Village Ln              | Christina Jones     |
| 13  | Kylie Jones         | 8 Fairway Village Ln              | Kylie Jones         |
| 14  | Todd Murphy         | 53 Pelican Reach                  | Todd Murphy         |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name    | Address             | Signature       |
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| 1   | Carol Dawson    | 18 Intracoastal Ct. | Carol Dawson    |
| 2   | Alfred R Dawson | 18 Intracoastal Ct  | ALFRED DAWSON   |
| 3   | William H Marsh | 11 " "              | William H Marsh |
| 4   | Paula Cates     | 24 Intracoastal     | Paula Cates     |
| 5   | Gita Rismari    | 30 Intracoastal     | Gita Rismari    |
| 6   | Matthew Rismari | 30 Intracoastal     | Matthew Rismari |
| 7   | Colette Powell  | 9 Intracoastal      | Colette Powell  |
| 8   | Andrew Powell   | 9 Intracoastal CT   | Andrew Powell   |
| 9   | Richard Campen  | 32 Intracoastal Ct  | Richard Campen  |
| 10  | Jan Tyler       | 13 Intracoastal Ct  | Jan Tyler       |
| 11  | Brian Tyler     | 13 Intracoastal     | Brian Tyler     |
| 12  | Cheryl H Barron | 34 Ocean Pt Dr.     | Cheryl H Barron |
| 13  | Holly M Barron  | 34 Ocean Pt Dr.     | Holly M Barron  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name               | Address                                | Signature        |
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| 1   | BARBARA BARNES             | 3105 Waterway Blvd<br>Isle of Palms SC | Barbara Barnes   |
| 2   | Marie Furlan               | 3107 Waterway<br>IOP                   | Marie Furlan     |
| 3   | Richard Furlan             | 3107 Waterway Blvd<br>IOP, SC          | Richard Furlan   |
| 4   | Debra Matosky              | 3103 Waterway Blvd.<br>Isle of Palms   | Debra Matosky    |
| 5   | JENNIFER PITMAN            | 3109 WATERWAY BLVD<br>ISLE OF PALMS    |                  |
| 6   | ANDREW BENKNOWEN           | 3109 WATERWAY BLVD<br>ISLE OF PALMS    |                  |
| 7   | MARK A. MATOSKY            | 3103 Waterway Blvd<br>Isle of Palms    | Mark Matosky     |
| 8   | Mamon Baber                | 3155 Ave<br>IOP, SC 29451              |                  |
| 9   | Tom Chason                 | 414 Cadmus Blvd 29451                  | TK               |
| 10  | Frances Ward               | #5 Lagoon Villa<br>With Dunes, IOP     | Frances Ward     |
| 11  | SID RISMANI                | 34 INTRACOST CT.                       |                  |
| 12  | Antonia Katnik             | 34 INTRACOST CT                        | A. K             |
| 13  | <del>MINA RISMANI</del>    | <del>34 INTRACOST CT</del>             | <del>M. R.</del> |
| 14  | <del>JOHN RISMANI</del>    | <del>34 INTRACOST CT</del>             | <del>J. R.</del> |
| 15  | <del>MATTHEW RISMANI</del> | <del>30 INTRACOST CT</del>             | <del>M. R.</del> |
| 16  | <del>GRACE RISMANI</del>   | <del>30 INTRACOST CT</del>             | <del>G. R.</del> |
| 17  | <del>PAOLA RISMANI</del>   | <del>30 INTRACOST CT</del>             | <del>P. R.</del> |
| 18  | <del>NORAH RISMANI</del>   | <del>30 INTRACOST CT</del>             | <del>N. R.</del> |
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## SIGNATURE PAGE TO PETITION

| No.           | Printed Name                | Address                  | Signature                   |
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| V 1           | MATT BRECKHEIMER            | 2 Waterway Isl Dr        | Matt Breckheimer            |
| V 2           | Susan Breckheimer           | 2 Waterway Isl Dr        | Susan Breckheimer           |
| V 3           | John Z. Bathea              | 11 Waterway Isl Dr       | John Z. Bathea              |
| V 4           | Alvin Parrott               | 32 Waterway Isl Dr       | Alvin Parrott               |
| V 5           | H. Buck Parrott, Jr         | 32 Waterway Isl Dr       | H. Buck Parrott, Jr         |
| V 6           | Jennifer C. Bolt            | 28 Beach Club Villas     | Jennifer C. Bolt            |
| V 7           | Jim Bolt                    | 28 BEACH CLUB VILLAS     | Jim Bolt                    |
| 8             | JAN McCrory                 | 43 Waterway Island       | Jan McCrory                 |
| 9             | Andrew J Falatok            | 4 Waterway Island        | Andrew J Falatok            |
| <del>10</del> | <del>Andrew J Falatok</del> | <del>Dock B 11 IOP</del> | <del>Andrew J Falatok</del> |
| 11            | Kyrne Falatok               | 4 Waterway Is.           | Kyrne Falatok               |
| 12            | Stephanie Kirkman           | 31 Waterway Isl. Dr.     | Stephanie Kirkman           |
| 13            | M. DOUGLAS KIRKMAN          | 31 WATERWAY ISLAND       | M. Douglas Kirkman          |
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## SIGNATURE PAGE TO PETITION

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| V 1 | Thomas Young      | 11 Wake Way<br>15401 Park St 2948 | Thomas Young    |
| V 2 | Christina Young   | " "                               | Christina Young |
| V 3 | Terrence L. Smith | 46 Intracoastal Ct.               | Terrence Smith  |
| V 4 | Rod Hailer        | 8 36th                            | Rod Hailer      |
| V 5 | Maile Sullivan    | 17 21st Ave                       | Maile Sullivan  |
| 6   | Sarah S. Smith    | 32 25th Ave                       | Sarah Smith     |
| 7   | Andrew Smith      | 32 25th Ave                       | Andrew Smith    |
| 8   | Cathy B. Walker   | 263 Forest Trail                  | Cathy B. Walker |
| 9   | Booth Kenny       | 35 Ocean Point Dr                 | Booth Kenny     |
| 10  | Mike Kenny        | 35 Ocean Point Dr                 | Mike Kenny      |
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## SIGNATURE PAGE TO PETITION

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|-----|---------------------|--------------------|---------------------|
| 1   | Carolyn Anderson    | 3 Angler Row       | Carolyn Anderson    |
| 2   |                     |                    |                     |
| 3   | John Baran          | 3105 Waterway Blvd | John C Baran        |
| 4   | Wilma Diane Schmidt | 50 Ocean Pt        | Wilma Diane Schmidt |
| 5   | Mimi Wood           | 3100 Waterway      | Mimi Wood           |
| 6   | Bruce Dandy         | 24 Snapper Ct      | Bruce Dandy         |
| 7   | Molly O'Neill       | 21 26th Ave        | Molly O'Neill       |
| 8   | Ginn Mayers         | 60 Fantasy Dr      | Ginn Mayers         |
| 9   | Carolyn S. Smith    | 46 Intracoastal Ct | Carolyn S. Smith    |
| 10  | Donna Smith         | 15 Dune Ridge Ln   | Donna Smith         |
| 11  | Craig S. Wheeler    | 3265 HARNETT BLVD  | Craig S. Wheeler    |
| 12  | Elizabeth L. Buck   | 3 45th Ave         | E. Buck             |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name    | Address                            | Signature                |
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| * 1 | CATHERINE BONIK | 1979 TUXEDO AVENUE<br>ATL GA 30307 | <i>Catherine Bonik</i>   |
| V 2 | 1721 CEDAR      | 362 AND PARKER                     | <i>[Signature]</i>       |
| V 3 | ROXANNE CLOUSE  | 3 Grand Pavilion Dr.               | <i>Roxanne Clouse</i>    |
| V 4 | STEPHEN FALLON  | 25 Oyster Row                      | <i>Stephen F. Fallon</i> |
| V 5 | Susan A Wheeler | 3205 Hartnett                      | <i>Susan Wheeler</i>     |
| V 6 | Rene Mueller    | 3206 Hart H                        | <i>Rene</i>              |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name       | Address                       | Signature          |
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| V 1 | Peggy W. Maughon   | 7 Wills Way<br>TOP, SC, 29451 | Peggy W. Maughon   |
| V 2 | Michael J. Maughon | 7 Wills Way<br>TOP, SC 29451  | Michael J. Maughon |
| 3   | Cameron Habbick    | 9 Wills Way<br>TOP, SC 29451  | Cameron Habbick    |
| V 4 | Rebecca Habbick    | 9 Wills Way<br>TOP, SC 29451  | Rebecca Habbick    |
| V 5 | Lisa B Safford     | 8 Wills Way TOP               | Lisa B Safford     |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name   | Address           | Signature         |
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| 1   | Judith Donohoe                                       | 13 43rd Ave       | Judith V. Donohoe |
| 2   | James Thomas Donohoe                                 | 13 43rd Ave       | James T. Donohoe  |
| 3   | 401K PERSON  | 35 BACK COURT     | [Signature]       |
| 4   | CAMPBELL, L. J.                                      | 34 12nd Ave       | [Signature]       |
| 5   | Laurel Jeffay, owner<br>7 Dunecrest Ln Holdings, LLC | 7 Dunecrest Lane  | Laurel Jeffay     |
| 6   | Jason Jeffay, owner<br>7 Dunecrest Lane Holdings LLC | 7 Dunecrest Lane  | Jason Jeffay      |
| 7   | James B. Sambrice                                    | 801 Coralina Blvd | James B. Sambrice |
| 8   | Tandy Moyer  | 26 24th Ave       | Tandy Moyer       |
| 9   | John H. Moyer Jr.                                    | 26 24th Ave       | John H. Moyer     |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name     | Address            | Signature        |
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| ✓ 1 | JOSEPH L. HOUDER | 65 TWIN OAKS LN    | Joseph L. Houdet |
| 2   | PETER BOZICK     | 4 DUNE RIDGE LN    | Peter Bozick     |
| 3   | LINDA BOZICK     | 4 DUNE RIDGE LANE  | Linda Bozick     |
| ✓ 4 | CHARLES GILBERT  | 30 BENCHWOOD W     | Charles Gilbert  |
| ✓ 5 | Nancy Triford    | 19 Edgemont Aly    | Nancy Triford    |
| ✓ 6 | Donna Crawford   | 19 Hidden Green Ln | Donna Crawford   |
| ✓ 7 | Bill CRAWFORD    | 19 Hidden Green Ln | Bill Crawford    |
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## SIGNATURE PAGE TO PETITION

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| 1   | George H. Page   | 5 Forest Trail Court 1 IOP     | George H. Page   |
| 2   | William Cox      | 292 Forest Trail Isle of Palms | William Cox      |
| 3   | Anna Slotchiver  | 273 Forest Trail IOP           | Anna Slotchiver  |
| 4   | Mark Segal       | 5 Forest Trail CT 2            | Mark Segal       |
| 5   | Carol Rice       | 292 Forest Trail               | Carol Rice       |
| 6   | Jackie Malan     | 2541st Ave IOP                 | Jackie Malan     |
| 7   | JESSE MALAN      | 2541st Ave IOP                 | Jesse Malan      |
| 8   | KATHLEEN WICKMAN | 279 Forest Trail               | Kathleen Wickman |
| 9   | William Wickman  | 279 Forest Trail               | William Wickman  |
| 10  | Lee Holman       | 275 Forest Trail               | Lee Holman       |
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| 1   | Bradley Lustig   | 8 Intracoasta  | Brad Lustig        |
| 2   | Sarah Lustig     | 8 Intracoasta  | Sarah Lustig       |
| 3   | Rodger Kennerly  | 8 Intracoasta  | Rodger Kennerly    |
| 4   | Deborah Kennerly | 8 Intracoasta  | Deborah S Kennerly |
| 5   | John Lanigan     | 22 Intracoasta | John Lanigan       |
| 6   | Dana Lanigan     | 22 Intracoasta | Dana Lanigan       |
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| 1   | KRISTEN HAYNES | 25 BACK CT TOP       | Kristen Haynes |
| 2   | KATHRYN HAYNES | 25 BACK CT TOP       | Kathryn Haynes |
| 3   | JAMES KENNY    | 25 BACK CT TOP       | James Kenny    |
| 4   | DAVID HARRELL  | 4612 CALDWELL CT TOP | David Harrell  |
| 5   | JOE SONGIFER   | 23 3RD AVE. TOP      | Joe Songifer   |
| 6   | MITCH SMITH    | 30 30TH AVE TOP      | Mitch Smith    |
| 7   | KAREN SMITH    | 30 30TH AVE TOP      | Karen Smith    |
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## SIGNATURE PAGE TO PETITION

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| 1   | Randy Bell     | 22 41 <sup>st</sup> Ave  | R. Bell   |
| 2   | Mimi Bell      | 22 41 <sup>st</sup> Ave. | M. Bell   |
| 3   | David Yount    | 5802 Palmetto Dr.        | D. Yount  |
| 4   | Kimberly Yount | 5802 Palmetto Dr.        | Kim Yount |
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| 1   | BRYAN MOHORN       | 202 CAROLINA BLVD   | Bryan D Mohorn    |
| 2   | Jane Mohorn        | 202 Carolina Blvd   | Jane Mohorn       |
| 3   | KATHERINE STRUBECK | 206 Charleston      | Katherine Strubek |
| 4   | Tim Ahmuty         | 204 Charleston Blvd | Tim Ahmuty        |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name                         | Address                | Signature        |
|-----|--------------------------------------|------------------------|------------------|
| 1   | Anne Kraus                           | 4 Palm Ct.             | Anne M. Kraus    |
| 2   | PATRICIA WINFREE<br>Patricia Winfree | 6 20 <sup>th</sup> Ave | Patricia Winfree |
| 3   | DOUG WINFREE                         | 6 20 <sup>th</sup> AVE | Doug Winfree     |
| V 4 | Jon Regan Walter                     | 1 30 <sup>th</sup> Ave | Jon Regan Walter |
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## SIGNATURE PAGE TO PETITION

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|-----|----------------|------------------|----------------|
| 1   | MARILYN TAYLOR | 14 WILLS WAY EUP | Marilyn Taylor |
| 2   | William Taylor | 14 WILLS WAY EUP | William Taylor |
| 3   | [REDACTED]     | [REDACTED]       | [REDACTED]     |
| 4   | SCOTT MCKENZIE | 35 SEAGRAM LANE  | S. McKenzie    |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address      | Signature         |
|-----|-------------------|--------------|-------------------|
| V 1 | Thomas Gruden     | 2016 Way 10P | Thomas Gruden     |
| V 2 | Stacy Rubin       | 17 44th Ave  | Stacy Rubin       |
| V 3 | Nancy J. McGinley | 17 44th Ave. | Nancy J. McGinley |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name    | Address           | Signature       |
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| 1   | RON BERGERON    | 14 TWIN OATS LANE | Ron Bergeron    |
| 2   | CONNIE BERGERON | 14 TWIN OATS LANE | Connie Bergeron |
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IOP Preservation and Density Cap Petition

3 FAIRWAY VILLAGE LANE  
 BLACK BOX  
 YELLOW LID

49

(No Subject)

From: Mindy Goldman (mwg594@aol.com)

To: mwg594@aol.com

Date: Wednesday, October 12, 2022, 10:45 AM EDT

## PETITION

STATE OF SOUTH CAROLINA ) For the Preservation of public and private recreation facilities ) and to cap the density in the Wild Dunes PRD to reflect the

CITY OF ISLE OF PALMS ) current existing units and approved lots

To the Mayor and City Council of Isle of Palms:

WHEREAS, the City of Isle of Palms Comprehensive Plan (the "Comprehensive Plan"), states that the primary planning concept is to "enhance the existing character of the island as a quality place to live and protect the environment both on and around the island" (the "Planning Concept"); and

WHEREAS, a stated objective of the Planning Concept is to "preserve the existing land use relationships"; and

WHEREAS, the City of Isle of Palms Current and Future Land Use Map, (the "Land Use Map"), depicts areas of the City designated for "Park/Recreational" and "Conservation" use; and

WHEREAS, Goal 7.1 of the Comprehensive Plan is to "Improve zoning regulations to protect the established character of the island"; and

WHEREAS, in order to further the objectives of the Comprehensive Plan and the Planning Concept, the City of Isle of Palms Code of Ordinances (the "Code"), established a CO conservation district (the "Conservation District"), the purpose of which is:

- a) To provide for an appropriate valuation that reflects the conservation use of land.
- b) To ensure the preservation of significant and vital natural resources.
- c) To lessen the hazards of loss of property, life, and the reduction of health and public safety due to periodic flooding by restricting uses in such areas.
- d) To provide for improved public recreation activities; and
- e) To provide for scenic easements to preserve the community heritage; and

WHEREAS, we believe it is in keeping with the goals and objectives of the Comprehensive Plan and the Planning Concept and the purposes of the CO conservation district zoning regulations to include the preservation of public and private recreation facilities in the City and to specifically incorporate not only all "Park/Recreational" and "Conservation" areas depicted on the Land Use Map, but also any and all other areas currently used as parks or for recreational uses, into the CO conservation district; and

WHEREAS, we further believe it is in keeping with goals and objectives of the Comprehensive Plan and Planning Concept to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots in order to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes.

WHEREAS, we submit this PETITION in order to support the actions of Council, to encourage the preservation of public and private recreation facilities and to support a cap on the density in the Wild Dunes PRD to reflect the current existing units and approved lots.

NOW THEREFORE, WE, the undersigned voters of the City of The Isle of Palms, request that the City enact an ordinance to amend the conservation district, Section 5-4-40 of The Isle of Palms Zoning Ordinance, to include preservation of public and private recreation facilities. Further, in order to ensure there continues to be an appropriate ratio between developed areas and conserved/preserved areas in Wild Dunes, we request that an ordinance be enacted to cap the density in the Wild Dunes PRD to reflect the current existing units and approved lots.

IOP Preservation and Density Cap Petition

Sent from the all new AOL app for iOS

Mindy Goldman  
7600 Palmetto Dr. A305  
Isle of Palms, SC 29451

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## SIGNATURE PAGE TO PETITION

| No. | Printed Name     | Address   | Signature |
|-----|------------------|---|-----------|
| 1   | James Correll    | 182 Julius Beck Rd <sup>SPURCE</sup><br>Pigeon NC 28771 |           |
| 2   | Deborah Buchanan | 345 Prospect Dr <sup>BURNSVILLE</sup><br>NC 28714       |           |
| 3   | William Norris   | 4607 Dine Rd<br>SPURCE DINE NC 28771                    |           |
| 4   | Calvin L BAIN    | 1 Links Clubhouse Ct                                    |           |
| 5   | DENNIS FRAZIER   | 37 FAIRWAY OAKS LANE<br>FULL TIME/OWNER                 |           |
| 6   | JEFF SHORT       | 16 HIDDEN GREEN LN<br>FULL TIME/OWNER                   |           |
| 7   | LISA SHORT       | 16 HIDDEN GREEN LN<br>FULL TIME                         |           |
| 8   | Paige Hautff     | 11 Fairway Oaks Ln<br>100 SC 29451                      |           |
| 9   | Susan Cangelosi  | 26 Dune Ridgeland                                       |           |
| 10  | Chris Cangelosi  | 26 Dune Ridge Ln  |           |
| 11  | Sherrin S. Baird | 1 Link Clubhouse  |           |
| 12  | Raymond Burns    | 6 Morgan's Cove Court                                   |           |
| 13  | John Farris      | 5 Fairway Dune Ln                                       |           |
| 14  | David Kindler    | 14 Commons Ct.  |           |
| 15  | Robert Hautff    | 11 Fairway Oaks Lane                                    |           |
| 16  | Laura Francis    | 38 BACK CT  |           |
| 17  | Todd Francis     | 38 BACK CT  |           |
| 18  | MARY FRAZIER     | 37 Fairway Oaks Ln                                      |           |
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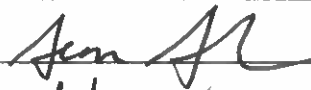




## SIGNATURE PAGE TO PETITION

| No. | Printed Name              | Address                    | Signature                 |
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| 1   | Ronald Warren             | 5837 Back Bay Dr.          | Ronald Warren             |
| 2   | Marla T Warren            | 5837 Back Bay Dr           | Marla T Warren            |
| 3   | Nancy Smith               | 16 Lake Village La         | Nancy Smith               |
| 4   | Janet Kindlick            | 14 Commons Court           | Janet Kindlick            |
| 5   | Elizabeth Shirley         | 3 Avalone Alley            | Elizabeth Shirley         |
| 6   | Randall Shirley           | 3 Avalone Alley            | Randall Shirley           |
| 7   | WS Smith                  | 16 Lake Village            | WS Smith                  |
| 8   | Annette Young             | 5829 Back Bay              | Annette Young             |
| 9   | Raymond Jenkins           | 8 Oyster Row               | Raymond Jenkins           |
| 10  | ROBERT RAUBACH            | 67 OCEAN POINT DR          | Robert Raubach            |
| 11  | <del>Randolph Gandy</del> | <del>23 SANDPIPER CT</del> | <del>Randolph Gandy</del> |
| 12  | Les Kutchen               | 9 Ocean Pt. Drive          | Les Kutchen               |
| 13  | Paula S. Kutchen          | 9 Ocean Pt. Drive          | Paula S. Kutchen          |
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| 1   | Sean Griffin               | 4 Marsh Point Ln<br>IOP, SC |             |
| 2   | Robert Young               | 5829 Back Bay Dr.           |             |
| 3   | Ken Carter                 | 11 Ocean Point              |             |
| 4   | <del>Raymond Jenkins</del> | <del>8 Oyster Row</del>     | <del></del> |
| 5   | Thomas Schmidt             | 50 Ocean Pt. Dr.            |             |
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| 1   | Loretta Frasier          | 10 48th Ave               | Loretta Frasier          |
| 2   | Martha Boren             | 404 Caroline              | Martha Boren             |
| 3   | <del>Karen Waselek</del> | <del>227 Forest Tr.</del> | <del>Karen Waselek</del> |
| 4   | <del>Don Waselek</del>   | <del>227 Forest Tr.</del> | <del>Don Waselek</del>   |
| 5   | MARY ANN SPIVEY          | 915 Palm Blvd             | Mary Ann Spivey          |
| 6   | Chris Spivey             | 915 Palm Blvd             | Chris Spivey             |
| 7   | Julian Frasier           | 10 48th Ave.              | Julian Frasier           |
| 8   | John R Freeze            | 27 41st Ave               | John R Freeze            |
| 9   | NANCY HOWERY             | 31 46th Ave               | Nancy Howery             |
| 10  | Bonnie Knight            | 10 48th Ave               | Bonnie Knight            |
| 11  | KRISTO CEROUČEKI         | 10 48th AVE               | Kristo Ceroučki          |
| 12  | Margaret W Mitchell      | 39 25th Ave.              | Margaret Whiteneel       |
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| 1   | Joyce R. Tyler | 700 Carolina Blvd. | Joyce R. Tyler          |
| 2   | James F. Tyler | 700 Carolina Blvd. | James F. Tyler          |
| 3   | dpe SPANN      | 627 Ocean Blvd.    | <del>Walker Spann</del> |
| 4   | WALKER SPANN   | 627 Ocean Blvd.    | Walker Spann            |
| 5   | STEVEN SOUTHER | 622 Palm Blvd.     | Steven Southern         |
| 6   | JENNINGS WISE  | 620 PALM BLVD      | Jennings Wise           |
| 7   | CAMILLA WISE   | 620 PALM BLVD      | Camilla M. Wise         |
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| 1   | Phyllis Bascomb | 16 Intracoastal Pk | <i>Phyllis Bascomb</i> |
| 2   | Stuart Bascomb  | 16 Intracoastal Ct | <i>Stuart Bascomb</i>  |
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| 1   | Mike Baykin  | 3005 Cameron Blvd | Mike Baykin |
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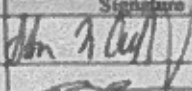

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| 1   | Mary Stone   | 1111 Oak Harbor Blvd | Mary Stone   |
| 2   | Peggy Green  | 1111 Oak Harbor Blvd | Mary Stone   |
| 3   | Marion Stone | 505 Ocean Blvd       | Marion Stone |
| 4   | Ed Valle     | 908 CAROLINA         | Ed Valle     |
| 5   | Lori Valle   | 908 Caroline Blvd    | Lori Valle   |
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| 2   | PAT WOOD        | 1942nd AVE  | Pat Wood       |
| 3   | GREGORY J. WOOD | 19 42nd AVE | Gregory J Wood |
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| 1   | Shannon K Connolly | 5815 Buck Bay Dr<br>Isle of Palms Sc 29451 |  |
| 2   | Richards (Arlis)   | 5815 Buck Bay Dr<br>Isle of Palms Sc 29451 |  |
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| 1   | WILLIAM DENNIS | 21 FAIRWAY DENNIS  |  |
| 2   |                | LANE, NILES DENNIS |   |
| 3   | VERREN DENNIS  | 21 FAIRWAY DENNIS  | Verren A. Dennis  |
| 4   |                | LANE, NILES DENNIS |   |
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## SIGNATURE PAGE TO PETITION

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| 1   | Anna Greta Taylor | 7600 Palmetto Rd, 224D |  |
| 2   | BEN TAYLOR        | 7600 PALMETTO RD 224D  |  |
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| 1   | GWEN CHIANELLA | 16 COMMONS CT.<br>IOP. SC 29451 |  |
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| 1   | CATHERINE LARSEN | 33 Beach Club Villas                                  | Catherine Larsen |
| 2   | JEFFREY LARSEN   | 33 Beach Club Villas <sup>10P</sup><br><sub>10P</sub> | Jeffrey Jr       |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name      | Address                               | Signature   |
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| 1   | JOHN DEBARDELEBEN | 28 BACK CT.<br>ISLE OF PALMS SC 29451 |  |
| 2   | NATALIE PLOTT     | 28 Back Ct.<br>IOP, SC 29451          |  |
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From: SUSAN KNIGHT wolfina96@aol.com

Subject: Petition

Date: Oct 6, 2022 at 9:54:11 AM

To: Alfred Dawson AlfredGDawson@gmail.com

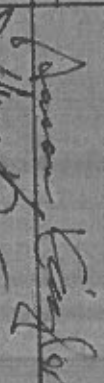

Hi Carol,

Thanks for your hard work on this. Please tell me if this is adequate.

See you soon,

Sue

SIGNATURE PAGE TO PETITION

| No. | Printed Name | Address            | Signature   |
|-----|--------------|--------------------|---|
| 1   | Susan Knight | 28 Intracoastal Ct |  |
| 2   | Tom Knight   | 28 Intracoastal    |  |
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Petition/Hunts



SIGNATURE PAGE TO PETITION

| No. | Printed Name   | Address             | Signature          |
|-----|----------------|---------------------|--------------------|
| 1   | Dr. James Hunt | 10 Intracoastal Ct. | <i>[Signature]</i> |
| 2   | Carol Hunt     | "                   | <i>[Signature]</i> |
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IOP Preservation and Density Cap Petition

PETITION

STATE OF SOUTH CAROLINA ) For the Preservation of public and private recreation facilities  
 ) and to cap the density in the Wild Dunes PRD to reflect the  
 CITY OF ISLE OF PALMS ) current existing units and approved lots

To the Mayor and City Council of Isle of Palms:



## SIGNATURE PAGE TO PETITION

| No. | Printed Name | Address           | Signature  |
|-----|--------------|-------------------|------------|
| 1   | Bob Dreier   | 3 INTRACOSTAL CT. | Bob Dreier |
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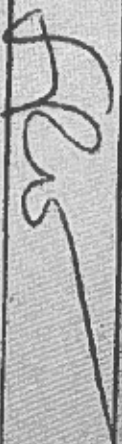
| No. | Printed Name       | Address            | Signature          |
|-----|--------------------|--------------------|--------------------|
| 1   | Whitney O. Duffy   | 20 Intracoastal Ct | Whitney O. Duffy   |
| 2   | Edmund W. Duffy Jr | 20 Intracoastal Ct | Edmund W. Duffy Jr |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name                | Address   | Signature                   |
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| 1   | <del>Carolyn S. Smith</del> | <del>46 Intracoastal Ct<br/>FOP, SC 29451</del> | <del>Carolyn S. Smith</del> |
| 2   | Terrence L. Smith           | 46 Intracoastal Ct<br>FOP, SC 29451             | Terrence L. Smith           |
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SIGNATURE PAGE TO PETITION

|    | Printed Name   | Address  | Signature   |
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| 0. | FRANK PETRILLI | 4 PARKWAY VILLAGE LANE<br>FIELESPRINGS, SC 29451 |  |
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## SIGNATURE PAGE TO PETITION

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| 1   | Paul Hanson     | 256 Forest Trail | Paul Hanson     |
| 2   | Rochelle Hanson | 236 Forest Trail | Rochelle Hanson |
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## SIGNATURE PAGE TO PETITION

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| 1   | Sylvia M Maw | 7 SAND DOLLAR DR. | Sylvia M Maw ★ |
| 2   | Sandra H Maw | 7 SAND DOLLAR DR. | Sandra H Maw ★ |
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SIGNATURE PAGE TO PETITION-IOP PRESERVATION AND DENSITY CAP PETITION

| No. | Printed Name | Address            | Signature    |
|-----|--------------|--------------------|--------------|
| 1   | Ailsa Foulke | 2911 waterway Blvd | Ailsa Foulke |
| 2   | Adam Foulke  | 41                 | Adam Foulke  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name         | Address         | Signature  |
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| 1   | Murrell + Jody Smith | 14 Inna Coastal | Jody Smith |
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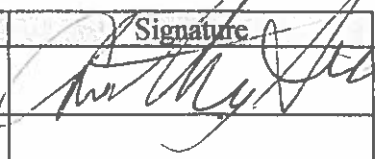
## SIGNATURE PAGE TO PETITION

| No. | Printed Name | Address  | Signature   |
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| 1   | Riley Cates  | 24 Intracoastal Ct <sup>10P, SC</sup> <sub>29451</sub> |  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name   | Address                                   | Signature   |
|-----|----------------|---|---|
| ✓ 1 | ANDREA C KNUPP | 34 SEAGRASS LN.<br>ISLE OF PALMS SC 29451 |  |
| 2   |                |   |   |
| ✓ 3 | Ralph E Knupp  | 34 Seagrass Ln<br>Isle of Palms, SC 29451 | Ralph E Knupp   |
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SIGNATURE PAGE TO PETITION



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| ✓ 1 | Tony Santiago | 60 Ocean Pt. |  |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name  | Address   | Signature            |
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| 1   | Ken Altshuler | 9002 Palmetto Dr. Unit 419<br>Isle Of Palms, S.C. 29451 | <i>Ken Altshuler</i> |
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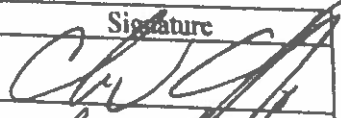
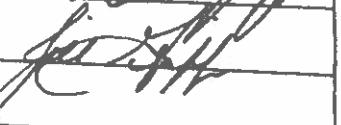
| No. | Printed Name      | Address                             | Signature   |          |
|-----|-------------------|-------------------------------------|---|----------|
| 1   | NANCY BARKSDALE   | 28 FAIRWAY DUNES LN / ISLE OF PALMS |  | 10/14/22 |
| 2   | WILLIAM BARKSDALE | 28 FAIRWAY DUNES LN / ISLE OF PALMS |  | 10/14/22 |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name       | Address                      | Signature          |
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| ✓ 1 | James W. Smiley    | 16 44 <sup>th</sup> Ave, IOP | James W. Smiley    |
| ✓ 2 | Elizabeth R Smiley | 16 44 <sup>th</sup> Ave, IOP | Elizabeth R Smiley |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name  | Address   | Signature   |
|-----|---------------|---|---|
| 1   | CHUCK GRIFFIN | 9002 Palmetto Drive<br>IOP, SC. 29451 #211                              |  |
| 2   | Jill GRIFFIN  | 9002 Palmetto Dr.<br>Seascape Villas #211<br>Isle of Palms, SC<br>29451 |  |
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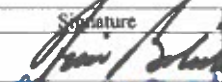
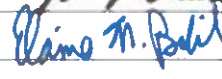
## SIGNATURE PAGE TO PETITION

| No. | Printed Name        | Address             | Signature           |
|-----|---------------------|---------------------|---------------------|
| 1   | Mary E. Marcotte    | 2004 Palm Blvd, 10P | Mary E. Marcotte    |
| 2   | William H. Marcotte | 2004 Palm Blvd, 10P | William H. Marcotte |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name | Address       | Signature    |
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| 1   | MIKE FUTRELL | 69 FAIRWAY    | Mike Futrell |
| 2   |              | DUNES LANE    |              |
| 3   |              |               |              |
| 4   | GAIL FUTRELL | SAME AS ABOVE | Gail Futrell |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name  | Address         | Signature   |
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| 1   | TIM BOLICK    | 12 SEAGRASS LN. |  |
| 2   | ELAINE BOLICK | 12 SEAGRASS LN. |  |
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## SIGNATURE PAGE TO PETITION

| No | Printed Name            | Address                                    | Signature               |
|----|-------------------------|--|-------------------------|
| 1  | Eileen Lange            | 216 Seaside Wildlife<br>Isle of Palms S.C. | Eileen Lange            |
| 2  | Marshall Lange-Williams | 216 Seaside Wildlife<br>Isle of Palms S.C. | Marshall Lange-Williams |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name       | Address                     | Signature          |
|-----|--------------------|-----------------------------|--------------------|
| 1   | Nelson S. Whitmer  | 1706 Dunes To PSC 2945      | Nelson S. Whitmer  |
| 2   | Annette M. Whitmer | 1706 Dunes Blvd To PSC 2945 | Annette M. Whitmer |
| 3   | Alma J. Kiser      | 1704 Dunes Blvd             | Alma J. Kiser      |
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Barrier Island Preservation Alliance <barrierislandp@gmail.com>

---

## Call to action

1 message

---

**Jean Leatherman** <jleatherman@eraleatherman.com>

Sun, Oct 16, 2022 at 11:20 PM

To: BarrierIslandP@gmail.com

As a property owner at 1103 Ocean Club and 216 Seascape, I oppose further development of Wild Dunes.

Jean Leatherman

Sent from my iPad


## SIGNATURE PAGE TO PETITION

| No. | Printed Name  | Address              | Signature     |
|-----|---------------|----------------------|---------------|
| 1   | Robin Edwards | 21 Lake Village Lane | Robin Edwards |
| 2   | Glenn Edwards | 21 Lake Village Lane | Glenn Edwards |
| 3   |               |                      |               |
| 4   |               |                      |               |
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## SIGNATURE PAGE TO PETITION

| No. | Printed Name          | Address                   | Signature   |
|-----|-----------------------|---------------------------|-------------|
| 1   | SEAN + SARRINA HARRIS | 9007 PALMETTO DR<br>#2115 | [Signature] |
| 2   |                       |                           |             |
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## SIGNATURE PAGE TO PETITION

| No | Printed Name      | Address          | Signature   |
|----|-------------------|------------------|---|
| 1  | Steven L. Jackson | 5 Sandledge Lane |  |
| 2  | Jannet Jackson    | 5 Sandledge Lane | Jannet Jackson  |
| 3  |                   |                  |   |
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