

Addendum #1 Request for Bids (RFB) 2023-05 Isle of Palms Marina – Public Dock and Intracoastal Dock Improvements November 10, 2023

This addendum is intended to provide further clarification to the Bid Documents for this project, dated October 19, 2023.

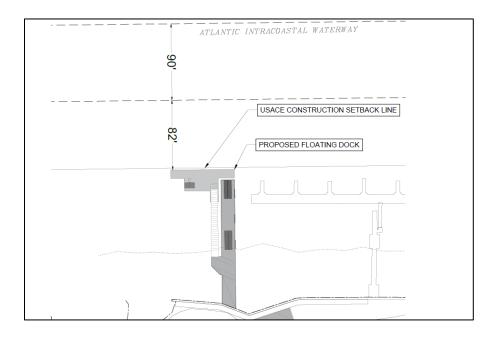
General Information

- A non-mandatory pre-bid meeting was held on site on November 1, 2023. The attendee list is appended hereto for reference.
 - Also in attendance were representatives from the design team: Kirby Marshall from ATM and Aaron Tempel, PE from Epic Engineering.
- A dimensioning error was pointed out on plan page M1. That plan page has been corrected and is attached hereto for reference/use.
- Regarding insurance, Professional Liability coverage as specified will have to be provided by the Contractor's selected design engineer(s) for the floating dock, gangway, and floating dock anchorage portions of the project.
 - These (the new floating dock, new gangway, and new floating dock anchorage) are the only portions of the project where the contractor will be required to provide design services. Refer to technical/performance specifications for more information.
- Contractor laydown area is depicted on plan page G2.
- A bid bond is required for this project in the amount of 5% of the bid price.
- 100% Performance and Payment Bonds are required on this project.
- Contractor to provide all as built drawings and surveys as stipulated in the bid documents and regulatory permits.
- The Maintenance and Repair Permit authorization for the work on the Intracoastal Dock is attached. Contractor must consider and comply with all provisions/requirements of this permit.

Public Dock Clarifications

• The gangway dimensions are highlighted on plan page M3 and includes a minimum of 72" clear space between handrails.

- Public Dock support/foundation piling shall be 13" butt diameter with a consistent taper not exceeding 0.1 inch/foot in accordance with ASTM D25.
- See below image for the channel offset from the proposed floating dock at the new Public Dock.



As is seen, the proposed floating dock is approximately 80-ft. from the edge of the authorized channel in this area.

• As discussed at the pre bid meeting, the City will require that a security gate be integrated with the top of the gangway to restrict access during evening hours/overnight.

The Contractor shall provide details on this proposed gate during the shop drawing process for review. Gate should be fully integrated into the top/shore-side of the gangway, extend no higher than the gangway structure itself and include a programmable locking mechanism to automatically lock and open at selected times.

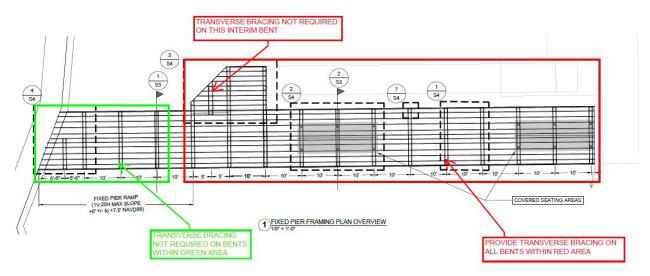
- The City would like to entertain the use of IPE posts and handrails on the fixed pier portion of the Public Dock. Please provide pricing under Alternate 14 for City consideration. Size of IPE members shall be the same as what is indicated on the plans.
- Base bid for Public Dock Handrails shall include No. 1 SYP material treated to 0.31 pcf CA-C or 0.6 ACQ.
- Beams and stringers on the Public Dock should utilize 0.6 pcf CCA preservative treatment.

• Piles and cross bracing on the Public Dock should utilize 2.5 pcf CCA preservative treatment.

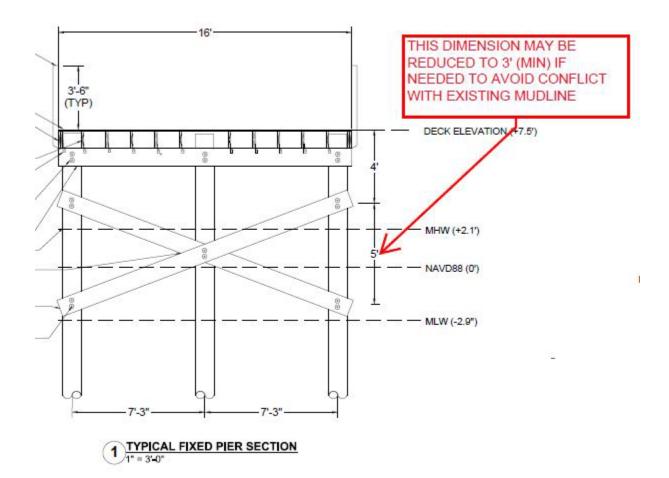
Various questions on the structural design plans for the fixed pier have been received. Please see the below.

• Due to marsh elevation and tie elevation of the new fixed pier to the existing boardwalk, what bent does the transverse x-bracing begin?

Provide transverse cross bracing at each bent beginning at the fifth (5th) bent from shore as illustrated below.



Where/if a conflict exists with the existing mudline on any of these bents, the vertical distance from the top of the brace to the bottom of the brace may be reduced to a minimum of 3' as illustrated below.



• Please confirm there's no longitudinal x-bracing on the new fixed pier.

Confirmed.

• Drawing S3 detail 1 indicates "install timber blocking between braces at bolted connections". Since there's a timber pile at the center of the X, can you confirm that no blocking is required at these sections?

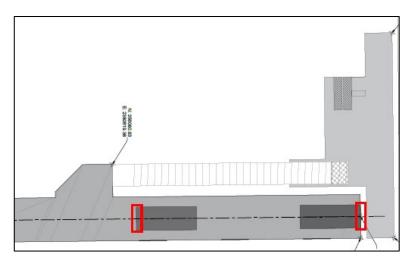
Confirmed.

• On drawing S5 detail 2, can you specify the size of the handrail posts, handrail support (top cap) and toe plate?

Contractor shall confirm the sizes of all handrail members to match existing handrails in the Morgan Creek portion of the marina as indicated in Note 1 under "Handrails" on Sheet S1.

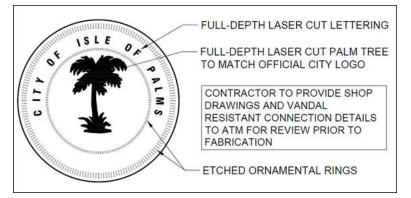
- On drawing S6...
 - Does the City Seal go on both sides of both covered roofs?

Provide signs in the two (2) locations illustrated below.



• Can you provide more details for this 18" diameter City Seal?

See below.



• Is this a 100% aluminum sign?

The sign may be aluminum, stainless steel, or a combination thereof as recommended by the Contractor and their fabricator for extended exposure in the saltwater marine environment. Any dissimilar metals shall be isolated to inhibit galvanic corrosion.

• Color scheme?

The color and finish shall match the metal components of the swings and benches.

• Any portion of this sign have raised lettering or raised features?

No. The seal is intended to be a flat plate (thickness to be determined by the Contractor and their fabricator) with full-depth laser cut lettering and palm tree. Ornamental concentric rings shall be etched into the outer surface of the plate.

Note: Contractor shall provide details of proposed cutouts and etchings with their shop drawing submittal after contract award and prior to fabrication.

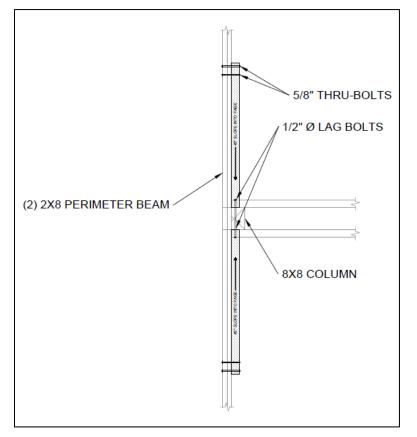
- On drawing S6...
 - Detail 2 shows transverse 2x6 braces from the 3x8 girders to the 8x8 columns. A 2x6 doesn't seem wide enough to accept a ½" lag bolt for the connection to the 8x8 column. Please confirm that the braces are to be 2x6.

The braces should be 3X6 as opposed to 2X6 currently shown on the plans.

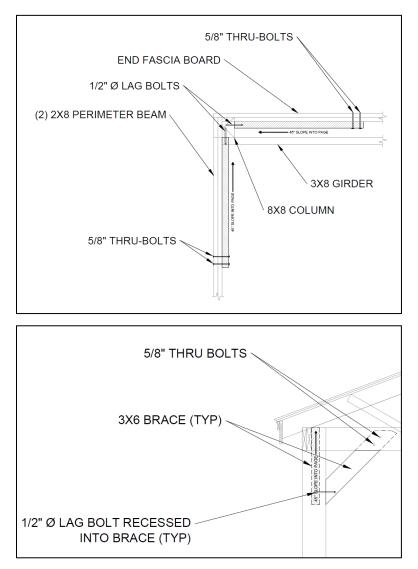
• Also, is it (2) 2x6 braces per 8x8 column? The way the 2x6 attaches to the 3x8 girder it will put the other end of the 2x6 brace very close to the edge of the 8x8 column. Please confirm these details.

No transverse bracing is required at the center column line (i.e., braces are only required around the perimeter of the roof structure). See figures below.

• On detail 1 it shows braces in the longitudinal direction too but there are no other details to support this. Please provide clarifications for this.



See figures below as well as Detail 1 on Sheet S7.



 On drawing S4 detail 4 framing detail at bulkhead shows 3x12 blocking between stringers and drawing S5 detail 6 typical blocking detail shows 2x12 blocking between stringers at midspan (typ). Please confirm that toe nailing these blocks with stainless steel ring shank nails are acceptable.

The use of 3X12 blocking between the bulkhead and first bent as shown in Detail 4 on Sheet S4 is intentional and atypical. All other spans shall 2X12 block as indicated in the typical detail (Detail 6 on Sheet S5). Nailing the blocks with stainless steel ring shank nails is acceptable in both cases.

• On various sheets of the drawings, it talks about 1/4" flat washers. Are these 1/4" flat washers New York Dock Washers?

New York Dock Department (NYDD) are acceptable. Standard circular washers or 3" X 3" cut plate washers are also acceptable. If circular washers are utilized (NYDD or other), the outer diameter shall be 3"Ø (min) for all thru-bolts.

• Drawing S2 shows the split caps bolted directly to the wood piles (without notching the piles) but drawing S4 detail 5 shows the split caps notched into the piles (this is doable but more time consuming). Please clarify this.

The cap beam arrangements shown on Detail 2 on Sheet S2 are representative only. Split pile cap beams shall be notched into the piles as indicated in Detail 5 on Sheet S4 except at bents supporting roof columns where the caps may be bolted directly to the piles in order to provide adequate space for the roof columns (see Detail 2 on Sheet S7).

• I understand that the timber piles for the fixed pier are to be ASTM D25. Are these timber piles Class A or Class B piles? Class B is more common.

Class B.

• The decking for the fixed pier is 1x6 IPE for the base bid. Is the 1x6 the nominal size? IE: The actual measurement of a 1x6 IPE board is ³/₄"x5.5" and a 5/4x6 IPE board actual measurement is 1"x5.5".

The 1X6 designation is nominal (3/4" X 5.5" actual).

• On the alternate bid for decking on the fixed pier, I'm waiting on a call back from the Tanzite decking manufacturer but do you know if this decking comes in only one size or various sizes? Do you know what size you want?

Tanzite[™] decking, if selected, shall be a standard width of 147mm (approximately 5³/₄") based on information provided to ATM by Carl G, Sales Representative for Tanzite[™] during development of the Bid Documents. Contact information for Carl is provided below:

Carl G Sales Associate, **Tanzite StoneDecks** Ph: 1-605-309-1880 Main: 1-833-478-6633 Email: <u>carl@tanzite.com</u>

Web: www.tanzite.com

• Should the Tanzite[™] decking alternate include an edge/perimeter board along the sides of the pier?

Yes.

• Are 2 ¹/₄" SS deck screws allowable for securing fixed pier decking on the Public Dock?

Yes. These shall be 316SS.

Intracoastal Dock Clarifications

- Regarding work on the Intracoastal Dock, the City recognizes the intensive nature of the repair work proposed for this area of the marina. Therefore, public and dock user access to this area will be restricted during repair efforts. The dock may be "closed" during the week, but the selected contractor may be required to "make safe" the dock on the weekends for marina patron use. This can be coordinated further during the pre-construction meeting but should not present an issue as construction/repair efforts are scheduled for the off-season at the marina where boat and patron traffic are minimal. Contractor shall also coordinate with marina operator on the required movement/relocation of any vessels on this dock.
- Stainless steel ring shank nails are acceptable to attach replacement bumper strips on the Intracoastal Dock. Selected contractor to provide material submittal.
- Regarding plan page R1, Galvanized Coating, note number 3, galvanized coating shall be applied at the manufacturer or post manufacture treatment facility. Coating shall not be required to be touched up in the field.
- It is strongly preferred that the existing hardware on the fixed pier shall be removed and new hardware shall be installed in the same locations. Contractor may request relief from this on a case-by-case basis in the field. This shall be coordinated with ATM in the field as needed.
- On sheet R2 there is a typographical error in the note that reads "Access Pier-Replace All Structural Hardware (See Detail 1, Sheet R2)." This should read:

Access Pier-Replace All Structural Hardware (See Detail 1, Sheet R3)

- Per sheet R2, there are 10 handrail posts that shall be replaced on the fixed pier leading out to the Intracoastal Dock. The locations of these are noted on the plan.
- Decking replacement on fixed pier or floating dock may be CA 0.31 pcf retention.

Utility Clarifications

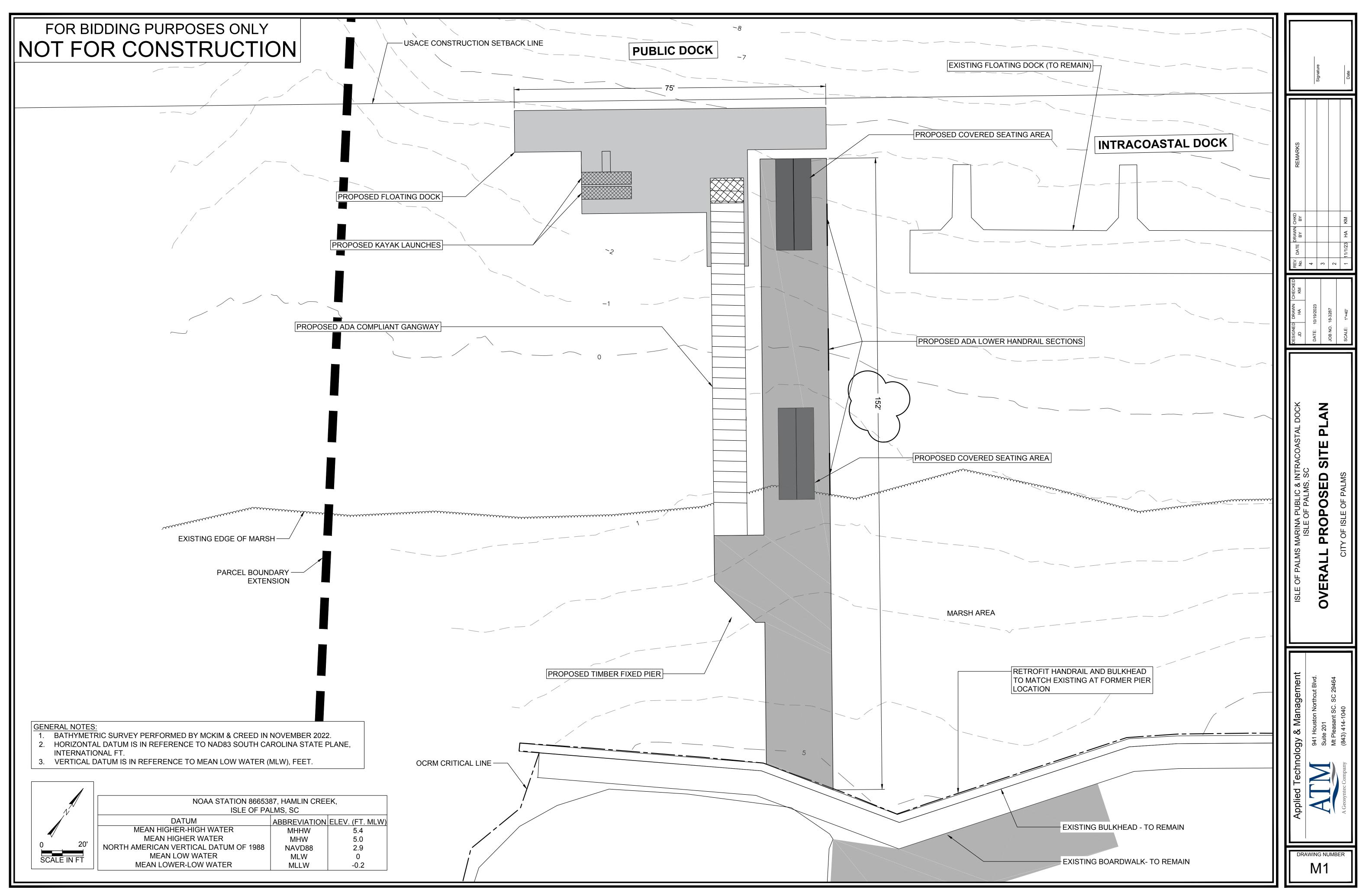
• Location of the electrical feeder to the dock area was discussed briefly and Mr. Tempel pointed out that plan page E2 (note 4) contains a bid alternate to provide additional

underground feeder if the existing feeder cannot be located. Please refer to revised Plan Page E2 and Bid Form (both attached).

Attachments

Isle of Palms Marina Public Dock and Intracoastal Dock Improvements Pre-Bid Meeting November 1, 2023

Phone Number E-Mail Name Company Scott Taylor Necco Sullivan 8:13-990-1212 Staylor Cneecosullivan Robert Fox Truluck const 843-870-4355 robert fox E truluckeousd & KEIM SALMONS 543-722-2921 SIMMONS KEIMsimmons 845-557-1595 CSALMAN Scich Galldoorn Biutice into e blutide manine com mencine. Scott Davis Blytide binticescotte gmail com Blytide 865, 356, 1947 Rawlins Lowndos Trula KConst 864-680-2107 truluc KConstructio agmail.com





November 6, 2023

City of Isle of Palms 1207 PALM BLVD ISLE OF PALMS, SC29451

Re: Maintenance and Repair Notification HPY-GRE8-KG4PD

Dear City of Isle of Palms :

This is in response to your recent request to perform Maintenance & Repair to an existing dock structure at 50 41st Ave, Isle of Palms, TMS# 5710800007. Specifically, you requested the replacement or repair of the following items on the fixed pier: thru rods, bolts, corroded or missing hardware, decking, handrails, electrical system. The replacement or repair of the following items on the floating dock and finger piers: pile guides, cleats, decking, fascia boards, hardware connections, electrical systems, fendering rub rails. This work conforms to the Department's Normal Maintenance and Repair criteria as set forth in Regulation 30-5.(D).

"Normal maintenance and repair applies only to work on a structure which has been previously permitted or is grandfathered or exempted and is still generally intact and functional in its present condition. The work may only extend to the original dimensions of the structure, and any expansion, additions, or major rebuilding will require either a Department permit or documentation to and written approval from the Department."

A construction placard identifying this activity under the maintenance and repair notification is available for download and print in ePermitting. The placard should be posted conspicuously on site during maintenance and repair activities.

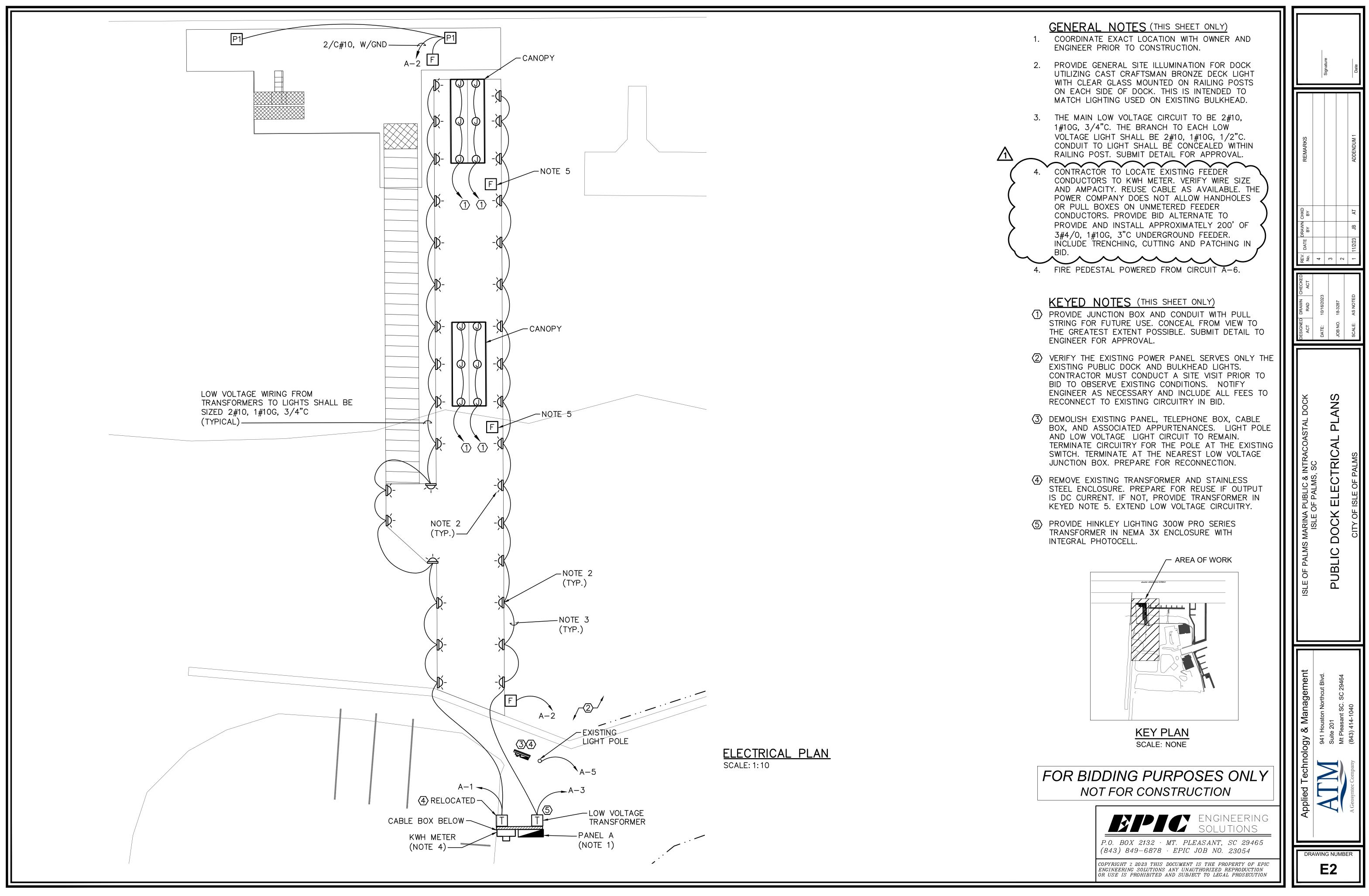
Acknowledgement of this maintenance and repair request does not relieve you of your responsibility to obtain any local government permits that may be required for this work nor does it permit any activity that is not previously authorized by this agency. Please note that the Department reserves the right to require a full permit if deemed necessary. If you have any further questions concerning this matter, please do not hesitate to contact me at .

Sincerely,

Aristian I. Young Project Manager

Critical Area Permitting Section

			Ocean and rce Management				
VIdr	nec	CONSTRUCTION	AUTHORIZATION				
Healthy People. Healthy Communities. Permittee/ Property Owner: City of Isle of Palms Marina		Expiration Date:	April 7, 2024				
Address of Permittee/ Property Owner:	1207 PALM BLVD ISLE OF PALMS, SC 29451	Application Number:	HPY-GRE8-KG4PD				
Contractor's Name: ATM (if none provided, then property owner name)		Date Issued:	November 7, 2023				
		Location:	50 41st Ave				
Contractor's License #:	City of Isle of Palms Marina	Authorized Work : The replacement or repair of the following items on the fixed pier: Thru rods, bolts, corroded or missing					
Waterway: ICW		hardware, decking, handrails, electrical system. The replacement					
City: Isle of Palms		or repair of the following items on the floating dock and finger piers: pile guides, cleats, decking, fascia boards, hardware connections, electrical systems, fendering rub rails.					
County: Charleston Col	unty		hristian J. Young lovember 7, 2023				
		Date					
	> This Notice Must Be Cons	picuously Displayed at th	e Work Site <				



Isle of Palms Marina – Public Dock and Intracoastal Dock Improvements

Request for Bids (RFB) 2023-05

Revised Bid Form – November 10, 2023

BASE	BID				
Item	Description	Number	Unit	Unit Cost	Total Cost
	PUBLIC DOCK				
1	Performance Bond	1	LS		
2	Mobilization/Demobilization	1	LS		
3	Demolition of existing Public Dock and related water-side appurtenances	1	LS		
4	Design, Furnish and Install (1) 8'x80' aluminum gangway	1	EA		
5	Furnish and Install New Fixed Pier and Roof Structures	1	LS		
6	Furnish and Install electrical system	1	LS		
7	Furnish and Install potable water system	1	LS		
8	Design/Furnish/Install floating dock system and anchorage		SF		
	(Meeco Sullivan Timber) - Include all kayak launch infrastructure				
9	Furnish/Install fire protection system (standpipe system)	1	LS		
10	Furnish/Install fire pedestals		EA		
11	Design, Furnish and Install swings and benches	1	LS		
12	Retrofit boardwalk handrail at location of existing pier	1	LS		
	INTRACOASTAL DOCK				
12	Demolition and removal of existing electrical and potable water systems	1	LS		
13	Fixed Access Pier Repairs	1	LS		
14	Floating Dock Repairs	1	LS		
15	Furnish and Install electrical system	1	LS		
16	Furnish and Install potable water system	1	LS		
16	Furnish and Install Fire Extinguisher Pedestals	1	LS		
	Total Base Bid				

ALTER	ALTERNATE BID ITEMS INDICATE ADD or DEDUCT TO BASE BID PRICE				
Item	Description	Number	Unit	Unit Cost	Total Cost
	Design/Furnish/Install floating dock system and anchorage - Public Dock (Bellingham timber frame system) - Include all kayak launch infrastructure		SF		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT2	Design/Furnish/Install floating dock system and anchorage - Public Dock (Structurmarine aluminum frame system) - Include all kayak launch infrastructure		SF		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT3	Design/Furnish/Install floating dock system and anchorage - Public Dock (Meeco Sullivan aluminum frame) - Include all kayak launch infrastructure		SF		

Item	Description	Number	Unit	Unit Cost	Total Cost
ALT4	Design/Furnish/Install floating dock system and anchorage - Public Dock		SF		
AL 14	(Boardsafe Docks aluminum frame) Include all kayak launch infrastructure		51		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT5	Utilize Tanzite brand decking in lieu of IPE on Public Dock	1	LS		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT6	Utilize HDG hardware in lieu of stainless steel on Public Dock				
ltem	Description	Number	Unit	Unit Cost	Total Cost
ALT7	Provide pile wrapping on fixed pier pilings on Public Dock	1	LS	Unit COst	
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT8	Sand and Re-paint handrail system on fixed pier on Intracoastal Dock	1	LS		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT9	Replace decking on fixed pier on Intracoastal Dock with new, treated SYP	1	LS		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT10	Replace decking on floating dock on Intracoastal Dock with new, treated, SYP				
	Side A	1	LS		
	Side B	1	LS		
Item	Description	Number	Unit	Unit Cost	Total Cost
ALT11	Replace Pile Guide Rollers and Scrape Concrete Pilings on Intracoastal Dock	1	LS		
Item	Description	Number	Unit	Unit Cost	Total Cost
neem	Freedow Philosophic Company Philod	1	LS		
	Furnish Builders Risk Policy for Base Bid Only				
ALT12	Description	Number	Unit	Unit Cost	Total Cost
ALT12 Item			Unit LS	Unit Cost	Total Cost
ALT12 Item ALT13	Description	Number			Total Cost Total Cost